



EAST RIDGE
Santa Maria, California

LIMONEIRA
SINCE 1893

EAST RIDGE

Santa Maria, California

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SINCE 1893

EAST RIDGE

Property Description: East Ridge is a 40 acre property located on the corner of East Main Street and Panther in Santa Maria, California. The currently proposed site plan consists of 37 acres of 120 single family units ranging in lot size from 6,000 square feet to 12,000 square feet, as well as, 3 acres of commercial development.

Property Location: Santa Maria is located in California's Central Coast, between Santa Barbara and San Luis Obispo Counties. Approximately 170 miles north of Los Angeles and 270 miles south of San Francisco. The total population of Santa Maria valley has grown to nearly 194,000 of which 92,000 are located within the City of Santa Maria. The population of Santa Barbara County is 407,886.

APN: 128-052-43

Acreege and Zoning: 37 acres single family and 3 acres commercial

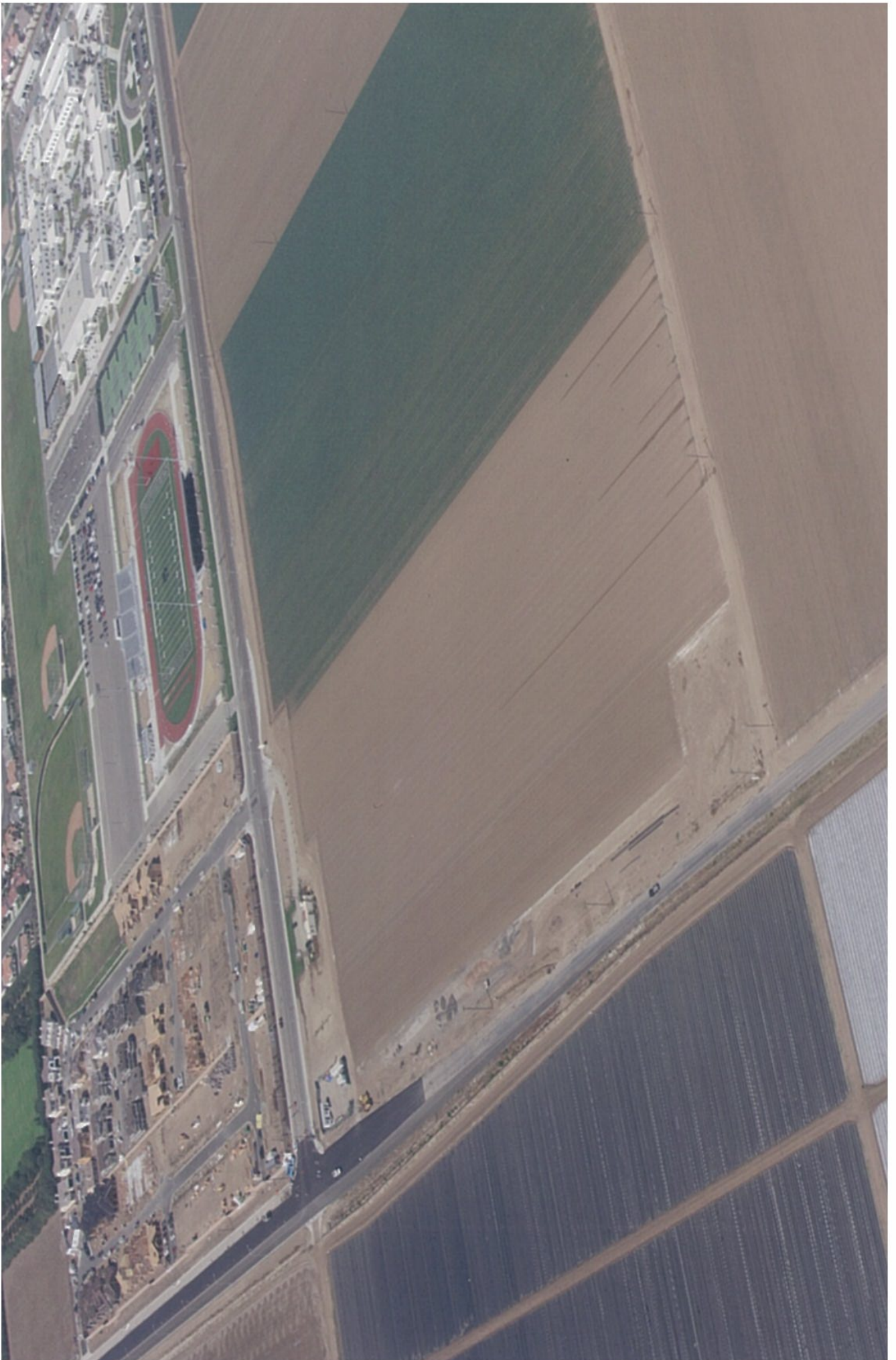
TTM: Approved- November, 2007

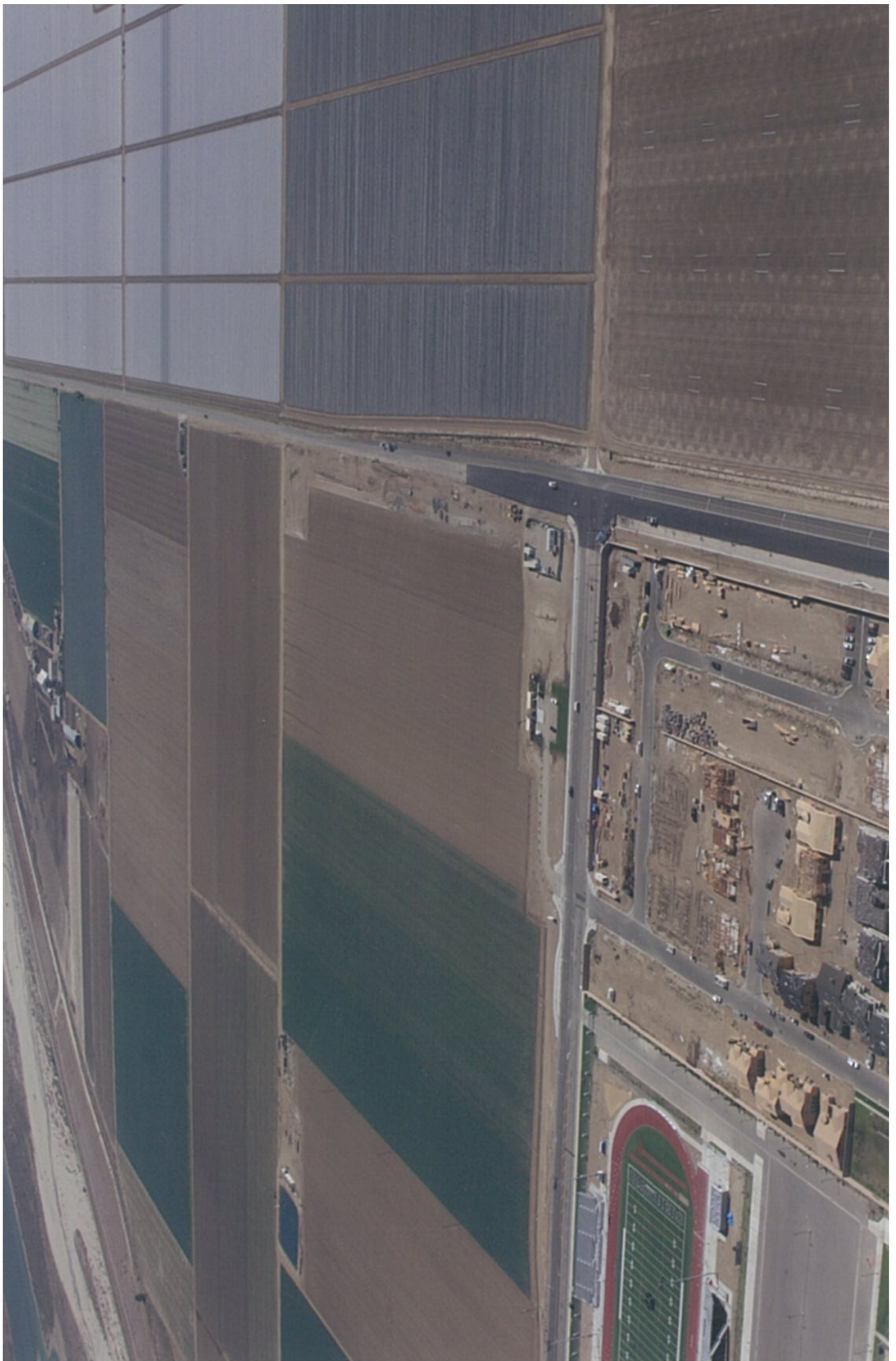
LIMONEIRA

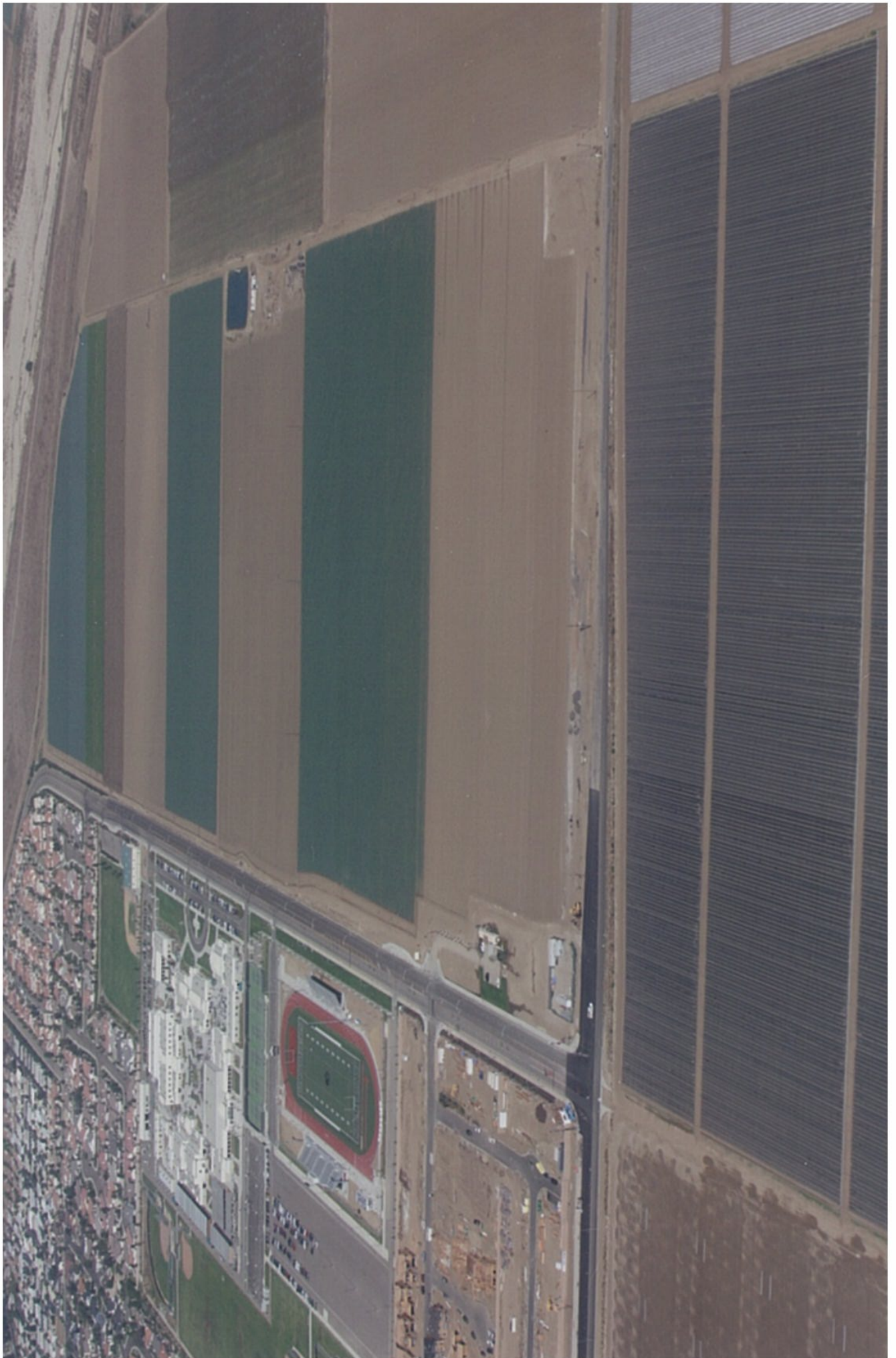
SINCE 1893

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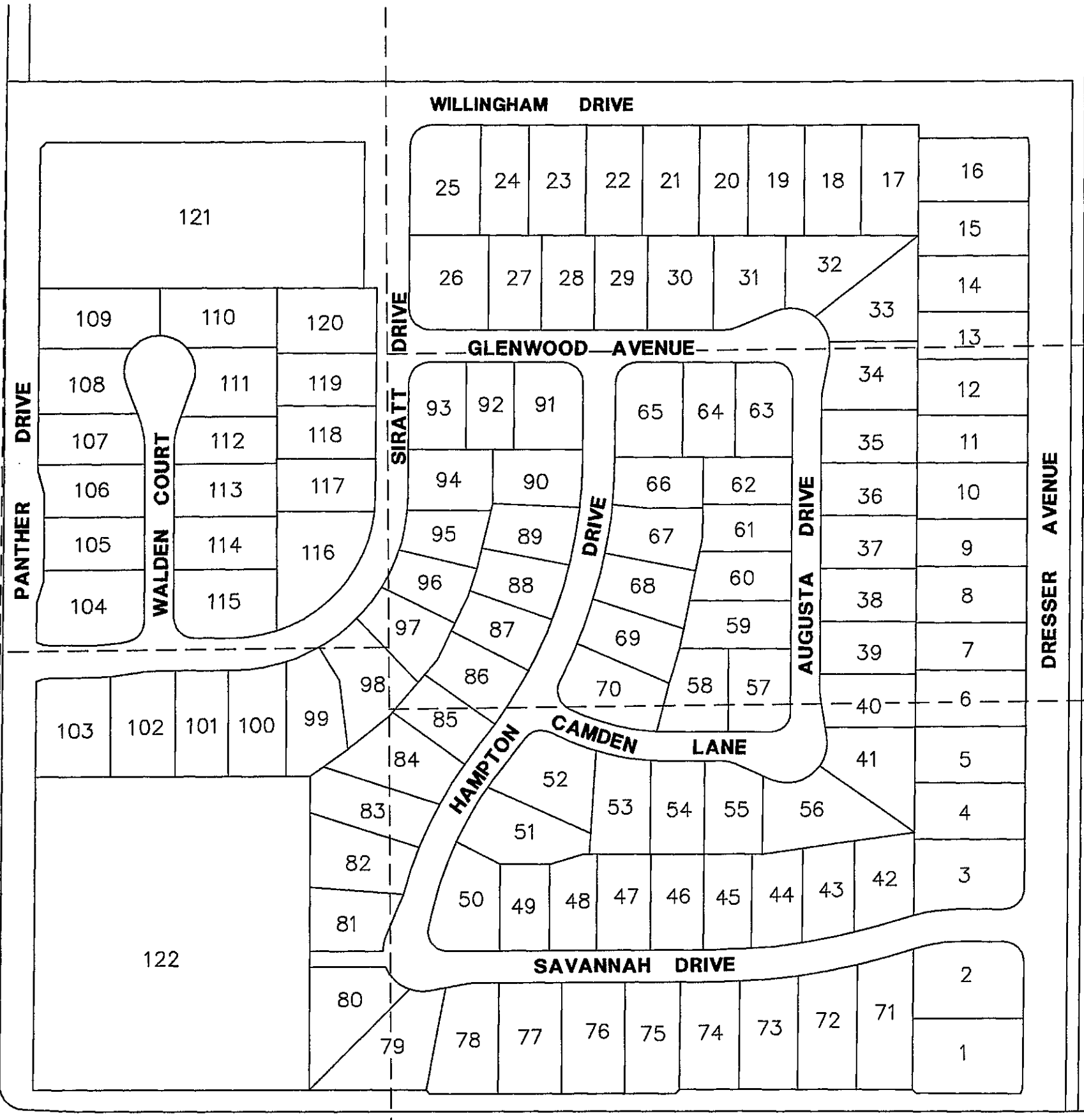
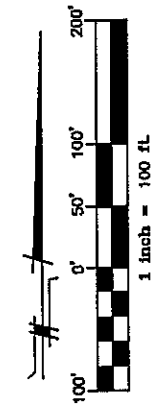








Tab



SHEET 8
SHEET 9

SHEET 7
SHEET 6

SHEET 6
SHEET 5

EASTRIDGE ESTATES TRACT 5939

A SUBDIVISION OF A PORTION OF SUEY RANCHO, IN
THE CITY OF SANTA MARIA, COUNTY OF SANTA
BARBARA, STATE OF CALIFORNIA.

FARGEN SURVEYS INC.

2624 AIRPARK DRIVE
SANTA MARIA, CALIFORNIA 93455
PHONE: 805-934-5727
FAX: 805-934-3448
DATE: JAN., 2009

TRACT 5939 SHT4.DWG

JOB: 08033

SHEET 4 OF 9

Tab

OWNERS STATEMENT

(I, WE) THE UNDERSIGNED STATE THAT (I, WE) (AM, ARE) THE OWNERS OF OR HAVE AN INTEREST IN THE LAND INCLUDED WITHIN THIS SUBDIVISION ENTITLED

EASTRIDGE TRACT 5939 SHOWN ON THIS MAP CONSISTING OF 9 SHEET(S) AND THAT (I, WE) (AM, ARE) THE ONLY PERSON(S) WHOSE CONSENT IS NECESSARY TO PASS A CLEAR TITLE TO SAID LAND.

WE HEREBY OFFER TO DEDICATE THE FOLLOWING EASEMENTS FOR PUBLIC STREETS: EAST MAIN STREET, PANTHER DRIVE, WALDEN COURT, SIRATT DRIVE, WILLINGHAM DRIVE, GLENWOOD AVENUE, HAMPTON DRIVE, CAMDEN LANE, AUGUSTA DRIVE, SAVANNAH DRIVE, AND DRESSLER AVENUE.

WE ALSO HEREBY OFFER TO DEDICATE THE FOLLOWING EASEMENTS IDENTIFIED AS PUBLIC UTILITY, CABLE TV, TELEPHONE, TRAFFIC CONTROL DEVICE, PEDESTRIAN ACCESS, LANDSCAPE, DRAINAGE, TREE PLANTING AND MAINTENANCE EASEMENT SHOWN HEREON.

WE ALSO HEREBY RELINQUISH THE RIGHT OF ACCESS TO AND FROM SPECIFIED PUBLIC STREETS FOR THE FOLLOWING LOTS:

- A) LOT 1 AND LOTS 71 THROUGH 79 SHALL HAVE DENIED ACCESS TO MAIN STREET.
B) LOTS 103 THROUGH 109 SHALL HAVE DENIED ACCESS TO PANTHER DRIVE.
C) LOT 104 SHALL HAVE DENIED ACCESS TO SIRATT DRIVE.

WE ALSO GRANT TO OURSELVES, OUR HEIRS, AND ASSIGNS A CERTAIN RECIPROCAL DRAINAGE EASEMENT FOR THE USE AND BENEFIT OF THE PRESENT OR FUTURE OWNERS OF THE LOTS AFFECTED BY SUCH EASEMENT.

TEMPLETON SANTA BARBARA, LLC, A NEVADA LIMITED LIABILITY COMPANY

NAME PRINTED: NAME PRINTED:

NOTARY

STATE OF CALIFORNIA COUNTY OF

ON 20, BEFORE ME, PERSONALLY APPEARED

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY (IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT, THE PERSON(S) OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE NAME PRINTED

COMMISSION EXPIRES COMMISSION NO.

PRINCIPAL OFFICE LOCATED IN THE COUNTY OF

EASTRIDGE ESTATES TRACT 5939

A SUBDIVISION OF A PORTION OF SUEY RANCHO, IN THE CITY OF SANTA MARIA, COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA.

NOTE: THE AREA CONTAINED WITHIN THE DISTINCTIVE BORDER EQUALS 40.496 ACRES.

TRUSTEE

FIRST AMERICAN TITLE INSURANCE COMPANY, A CALIFORNIA CORPORATION, TRUSTEE UNDER A DEED OF TRUST RECORDED DECEMBER 21, 2006 AS INSTRUMENT NO. 2006-0099196 OF OFFICIAL RECORDS.

NAME PRINTED: NAME PRINTED:

NOTARY

STATE OF CALIFORNIA COUNTY OF

ON 20, BEFORE ME, PERSONALLY APPEARED

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY (IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT, THE PERSON(S) OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE NAME PRINTED

COMMISSION EXPIRES COMMISSION NO.

PRINCIPAL OFFICE LOCATED IN THE COUNTY OF

CLERK OF THE BOARDS STATEMENT

I, MICHAEL F. BROWN, CLERK OF THE BOARD OF SUPERVISORS OF SANTA BARBARA COUNTY, DO HEREBY STATE, PURSUANT TO GOVERNMENT CODE SECTION 66464 OF THE SUBDIVISION MAP ACT, THAT CERTIFICATES AND DEPOSITS REQUIRED UNDER GOVERNMENT CODE SECTIONS 66492 AND 66493 ON THE PROPERTY WITHIN THIS SUBDIVISION HAVE BEEN FILED AND MADE.

MICHAEL F. BROWN CLERK OF THE BOARD OF SUPERVISORS DATE

BY: DEPUTY

COUNTY CLERK-RECORDERS STATEMENT

FILED THIS DAY OF 20, AT M., IN BOOK OF MAPS, AT PAGES, AT THE REQUEST OF KENNY L. FARGEN. FEE:

JOSEPH E. HOLLAND COUNTY CLERK-RECORDER-ASSESSOR BY: DEPUTY

SURVEYORS STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF TEMPLETON SANTA BARBARA, LLC ON MAY 1, 2008

AND THE SURVEY IS TRUE AND COMPLETE AS SHOWN. I HEREBY STATE THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP.

ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR WILL BE IN SUCH POSITIONS WITHIN ONE YEAR FROM RECORDATION OF THIS MAP, AND THAT SAID MONUMENTS ARE, OR WILL BE, SUFFICIENT TO ENABLE THIS SURVEY TO BE RETRACED.

KENNY L. FARGEN L.S. 4597 DATE LICENSE EXPIRATION DATE: 9-30-09



CITY SURVEYORS STATEMENT

I HEREBY STATE THAT I HAVE EXAMINED THE ATTACHED MAP, THAT THE SUBDIVISION AS SHOWN IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP AND ANY APPROVED ALTERATIONS THEREOF AND THAT ALL PROVISIONS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP HAVE BEEN COMPLIED WITH AND THAT I AM SATISFIED THAT THIS MAP IS TECHNICALLY CORRECT.

REESE N. RIDDIOUGH CITY SURVEYOR R.C.E. 18035 EXPIRATION DATE: 6/30/09

CITY PLANNING COMMISSIONS STATEMENT

THIS IS TO STATE THAT I HAVE EXAMINED THIS SUBDIVISION MAP AND HAVE DETERMINED THAT SAID MAP SUBSTANTIALLY CONFORMS TO THE TENTATIVE MAP AS APPROVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA MARIA ON NOVEMBER 7, 2007, AND THE CONDITIONS AS IMPOSED THEREON.

KIRK E. LINDSEY (SECRETARY) DATE

CITY COUNCILS STATEMENT

I HEREBY STATE THAT THIS SUBDIVISION MAP WAS DULY ADOPTED AND APPROVED BY THE CITY OF SANTA MARIA ON 20, AND THAT THE CITY COUNCIL AGREED TO ACCEPT THE DEDICATION OF ALL STREETS AND EASEMENTS IDENTIFIED AS EAST MAIN STREET, PANTHER DRIVE, WALDEN COURT, SIRATT DRIVE, WILLINGHAM DRIVE, GLENWOOD AVENUE, HAMPTON DRIVE, CAMDEN LANE, AUGUSTA DRIVE, SAVANNAH DRIVE, AND DRESSLER AVENUE, PUBLIC UTILITY, CABLE TV, TELEPHONE, TRAFFIC CONTROL DEVICE, PEDESTRIAN ACCESS, LANDSCAPE, DRAINAGE, TREE PLANTING AND MAINTENANCE EASEMENT, AND THE RELINQUISHMENT OF THE RIGHT OF ACCESS TO AND FROM SPECIFIED PUBLIC STREETS TO AFFECTED LOTS

SHOWN HEREON, UPON COMPLETION OF THE PUBLIC IMPROVEMENTS TO THE SATISFACTION OF THE CITY, AND THAT THE CITY CLERK WAS DULY AUTHORIZED AND DIRECTED TO ENDORSE HEREON ITS APPROVAL OF THE SAME AND ITS ACCEPTANCE OF SAID STREETS AND EASEMENTS.

CITY CLERK DATE



2624 AIRPARK DRIVE SANTA MARIA, CA 93455 PHONE: 805-934-5727 FAX: 805-934-3448 DATE: JAN., 2009

TRACT 5939 SHT1.DWG

JOB: 08033

SHEET 1 OF 9

EASTRIDGE ESTATES TRACT 5939

A SUBDIVISION OF A PORTION OF SUEY RANCHO, IN
THE CITY OF SANTA MARIA, COUNTY OF SANTA
BARBARA, STATE OF CALIFORNIA.

ADDITIONAL INFORMATION

PURSUANT TO SECTION 66434.2 OF THE GOVERNMENT CODE THE FOLLOWING ADDITIONAL INFORMATION IS FOR INFORMATIONAL PURPOSES, DESCRIBING THE CONDITIONS AS OF THE DATE OF FILING, AND IS NOT INTENDED TO AFFECT RECORD TITLE INTEREST. THE ADDITIONAL INFORMATION IS DERIVED FROM PUBLIC RECORDS OR REPORTS, AND DOES NOT IMPLY THE CORRECTNESS OR SUFFICIENCY OF THOSE RECORDS OR REPORTS BY THE PREPARER.

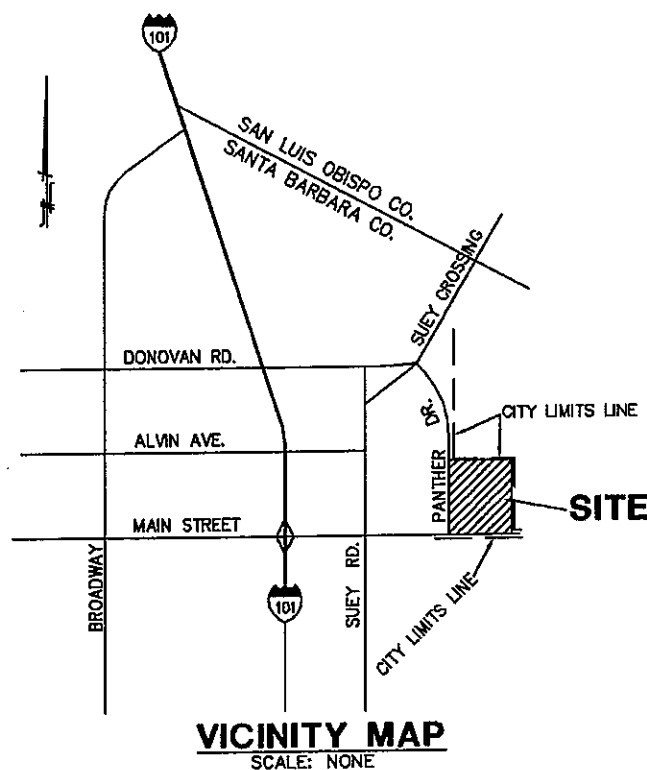
1. A MAINTENANCE ASSESSMENT DISTRICT SHALL BE ESTABLISHED TO THE SATISFACTION OF THE RECREATION AND PARKS DEPARTMENT TO ENSURE PROPER MAINTENANCE OF THE RETARDATION BASIN, STREET TREES, COMMON LANDSCAPING, FENCING, AND THE PEDESTRIAN PATHWAY BETWEEN LOTS 80 AND 81, AND ANY OTHER COMMON FACILITIES.
2. THIS PROJECT IS SUBJECT TO THE CITY'S AB 1600 MITIGATION FEE PROGRAM. THE ACTUAL FEE AMOUNT SHALL BE BASED ON THE CODES AND RATES IN EFFECT AT THE TIME OF BUILDING PERMIT ISSUANCE.
3. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 A.M. AND 6:00 P.M., MONDAY THROUGH FRIDAY, AND 8:00 A.M. TO 5:00 P.M. ON SATURDAYS.
4. BASED ON THE CURRENT CONFIGURATION OF THE PROJECT, SECURITY GATES SHALL NOT BE PERMITTED AT ANY TIME FOR THIS PROJECT.
5. PRIOR TO OCCUPANCY OF THE FIRST BUILDING, THE PROJECT DEVELOPER SHALL SUBMIT A MASTER EXTERIOR LIGHTING PLAN FOR THE ENTIRE RESIDENTIAL PORTION OF THE PROJECT SITE. THE MASTER LIGHTING PLAN SHALL BE CONSISTENT WITH THE REQUIREMENTS OF ENVIRONMENTAL CONDITION AES-3. THE DESIGN OF EXTERIOR LIGHTING FIXTURES SHALL CONTAIN A NOSTALGIC DESIGN ELEMENT AND SHALL BE CONSISTENT WITH A PEDESTRIAN SCALE.
6. THOSE RESIDENTIAL LOTS ADJOINING MAIN STREET, PANTHER LANE, AND LOT 104 TO SIRATT DRIVE SHALL NOT TAKE ACCESS FROM SAID STREETS.
7. ALL UTILITY LATERALS SHALL BE LOCATED WITHIN 12 FEET OF EITHER SIDE PROPERTY LINE. UTILITY LATERAL EASEMENTS SHALL BE REFLECTED ON EACH OF THE LOTS 12 FEET FROM BOTH SIDE PROPERTY LINES, AND THE APPLICANT SHALL OBTAIN AN AGREEMENT TO SUBORDINATE TO THESE EASEMENTS FROM SENIOR LIENHOLDERS.
8. "IMPORTANT: BUYER NOTIFICATION"
A) THIS PROPERTY IS LOCATED ADJACENT TO PROPERTY ZONED FOR AGRICULTURE AND IS LOCATED IN AN AREA THAT HAS BEEN PLANNED FOR AGRICULTURAL USES. THE BOARD OF SUPERVISORS HAS DETERMINED THAT IT IS IN THE PUBLIC INTEREST TO PRESERVE AGRICULTURAL LAND AND OPERATIONS WITHIN THE COUNTY OF SANTA BARBARA AND TO SPECIFICALLY PROTECT THESE LANDS FOR EXCLUSIVE AGRICULTURAL USE. THROUGH ENACTMENT OF AN ORDINANCE ADDING SECTION 3-23, ARTICLE V TO CHAPTER 3 OF THE COUNTY CODE, ANY INCONVENIENCE OR DISCOMFORT FROM PROPERLY CONDUCTED AGRICULTURAL OPERATIONS, INCLUDING NOISE, ODORS, DUST, AND CHEMICALS, WILL NOT BE DEEMED A NUISANCE.
B) THIS PROPERTY IS LOCATED CLOSE TO A PUBLIC HIGH SCHOOL SITE, WHICH MAY INCLUDE BUS ROUTES, STADIUM LIGHTS AND NOISE, PEDESTRIAN/BICYCLE TRAFFIC, PUBLIC PARKING, AND AUTOMOBILE TRAFFIC THAT ARE NOT TYPICALLY FOUND IN RESIDENTIAL NEIGHBORHOODS.
C) THIS PROPERTY IS LOCATED ALONG THE PRIMARY ROUTE TO A PUBLIC LANDFILL SITE, WHICH MAY INCLUDE TRUCK TRAFFIC, NOISE, ODORS, AND OCCASIONAL HIGH VOLUMES OF VEHICLE TRAFFIC DURING FREE LANDFILL DAYS.

SOILS REPORT

A COPY OF THE SOILS REPORT BY GEOSOLUTIONS, INC.
TITLED LA VENTANA II
DATED APRIL 27, 2007 FOR THIS SUBDIVISION IS ON FILE IN THE
DEPARTMENT OF PUBLIC WORKS OF THE CITY OF SANTA MARIA.

BASIS OF BEARINGS

THE "BASIS OF BEARINGS" FOR THIS SURVEY IS THE CENTER LINE OF PANTHER DRIVE (FORMERLY FREMONT STREET) BETWEEN FOUND MONUMENTATION AND SHOWN HEREON AS N 00°41'11" E PER MAPS 201-68.



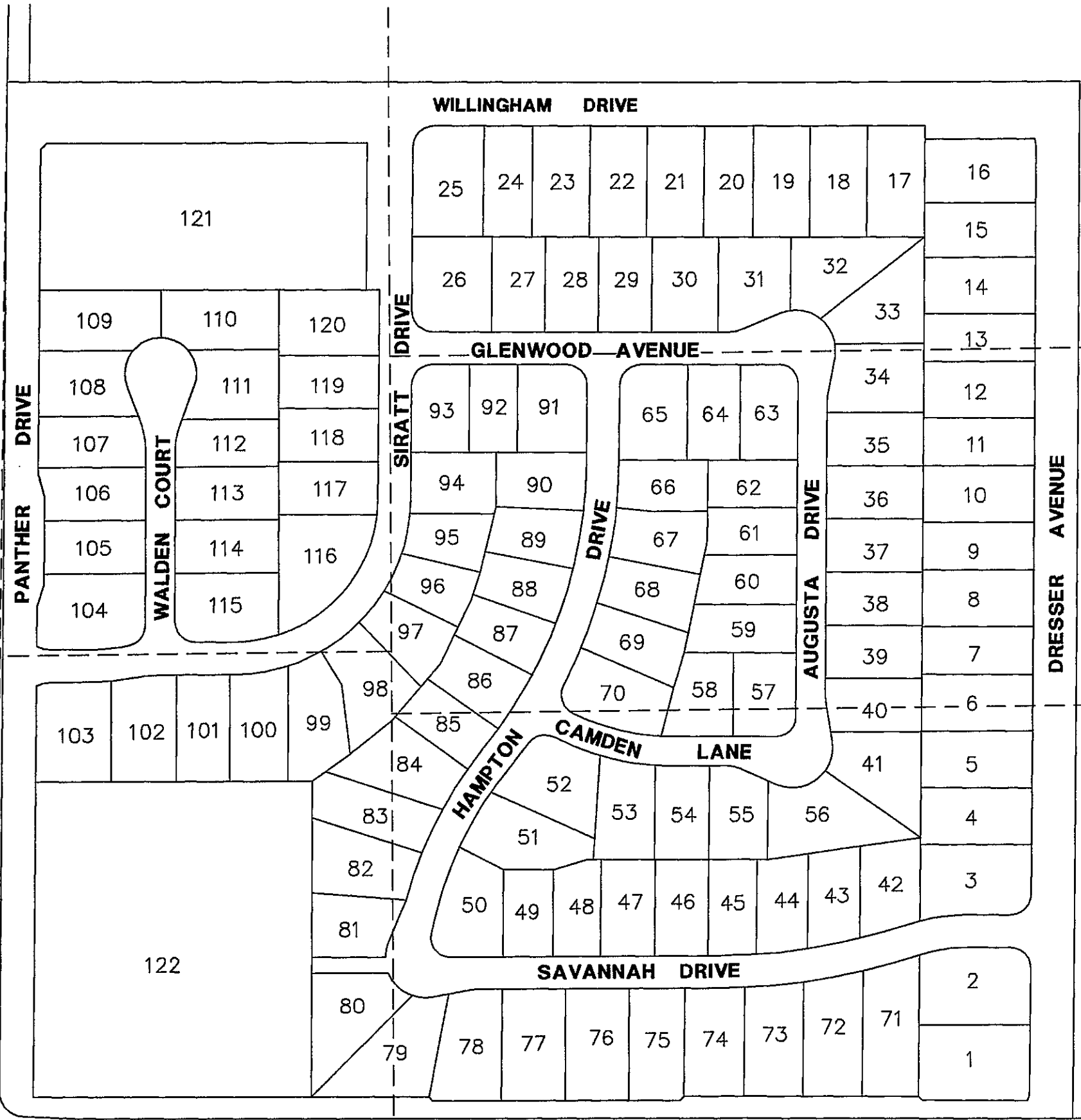
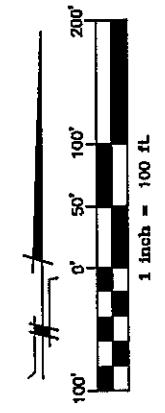
FARGEN SURVEYS INC.

2624 AIRPARK DRIVE
SANTA MARIA, CALIFORNIA 93455
PHONE: 805-934-5727
FAX: 805-934-3448
DATE: JAN., 2009

TRACT 5939 SHT2.DWG

JOB: 08033

SHEET 2 OF 9



SHEET 8
SHEET 9

SHEET 7
SHEET 6

SHEET 6
SHEET 5

EASTRIDGE ESTATES TRACT 5939

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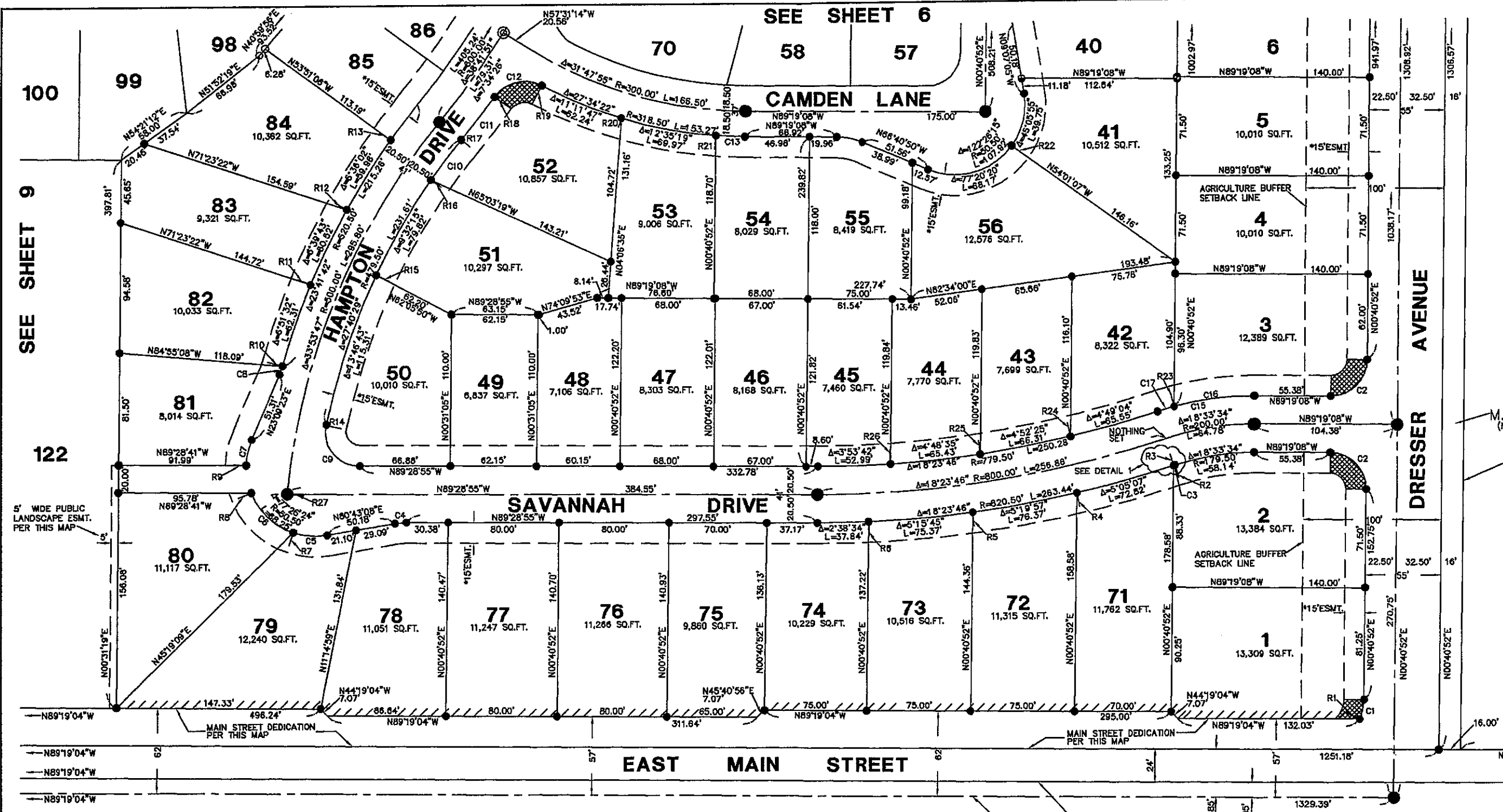
TRACT 5939 SHT4.DWG

JOB: 08033

SHEET 4 OF 9

RADIAL BEARINGS

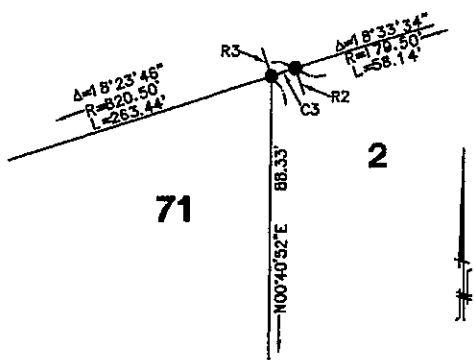
LINE	BEARING
R1	N65°22'36"W
R2	N17°52'42"W
R3	N17°48'19"W
R4	N12°43'12"W
R5	N07°23'15"W
R6	N02°07'29"W
R7	N18°58'51"E
R8	N68°09'31"E
R9	N68°35'11"W
R10	N74°19'00"W
R11	N67°27'28"W
R12	N60°47'45"W
R13	N54°11'43"W
R14	N78°17'47"W
R15	N84°31'04"W
R16	N54°58'49"W
R17	N50°37'17"W
R18	N54°14'34"W
R19	N28°15'14"E
R20	N17°03'22"E
R21	N04°28'08"E
R22	N54°01'09"W
R23	N14°36'09"W
R24	N13°03'38"W
R25	N08°11'12"W
R26	N03°22'37"W
R28	N84°31'05"W



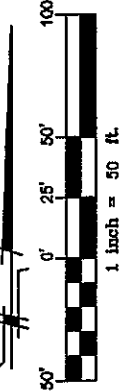
LOT 2
M.S. 5-97
(NOT A PART)
PARCEL "A"
R.S. 85-82

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA
C1	14.42	34.50	23°56'33"
C2	41.63	26.50	90°00'00"
C3	1.04	820.50	0°04'23"
C4	8.47	49.50	9°47'57"
C5	24.91	50.50	28°15'43"
C6	43.34	50.50	49°10'40"
C7	19.16	50.50	21°44'34"
C8	8.48	49.50	7°28'23"
C9	43.27	24.50	101°11'09"
C10	36.47	479.50	4°21'32"
C11	39.22	620.50	3°37'17"
C12	38.18	28.50	82°29'48"
C13	21.06	318.50	3°47'18"
C14	19.56	49.50	22°38'19"
C15	71.42	220.50	18°33'34"
C16	58.82	220.50	15°17'01"
C17	12.60	220.50	3°16'33"



DETAIL 1
SCALE: 1"=5'



LEGEND (THIS SHEET ONLY)

- SET 5/8" REBAR WITH PLASTIC CAP WITH L.S. 4597 AT ALL INTERIOR LOT CORNERS. SET 5/8" REBAR WITH PLASTIC CAP WITH L.S. 4597 PRODUCED 3.00' INTO LOT ALONG LOT SIDELINES AT ALL REAR LOT CORNERS ABUTTING TRACT BOUNDARY. ALL FRONT LOT CORNERS ARE NAIL AND TAG WITH L.S. 4597 SET IN CONCRETE CURB ON LOT SIDELINES PRODUCED 0.35' INTO STREET RIGHT OF WAY.
- ⊙ SET BRASS CAP MONUMENT STAMPED L.S. 4597 IN STANDARD CITY MONUMENT WELL.
- *ESMT. DENOTES PUBLIC UTILITY EASEMENT, PEDESTRIAN ACCESS, CABLE TV, TELEPHONE, TREE PLANTING AND MAINTENANCE EASEMENT PER THIS MAP
- ▨ DENOTES P.U.E., CABLE TV, TELEPHONE, PEDESTRIAN ACCESS, & TRAFFIC CONTROL DEVICE EASEMENT PER THIS MAP
- //// DENOTES DENIED ACCESS PER THIS MAP

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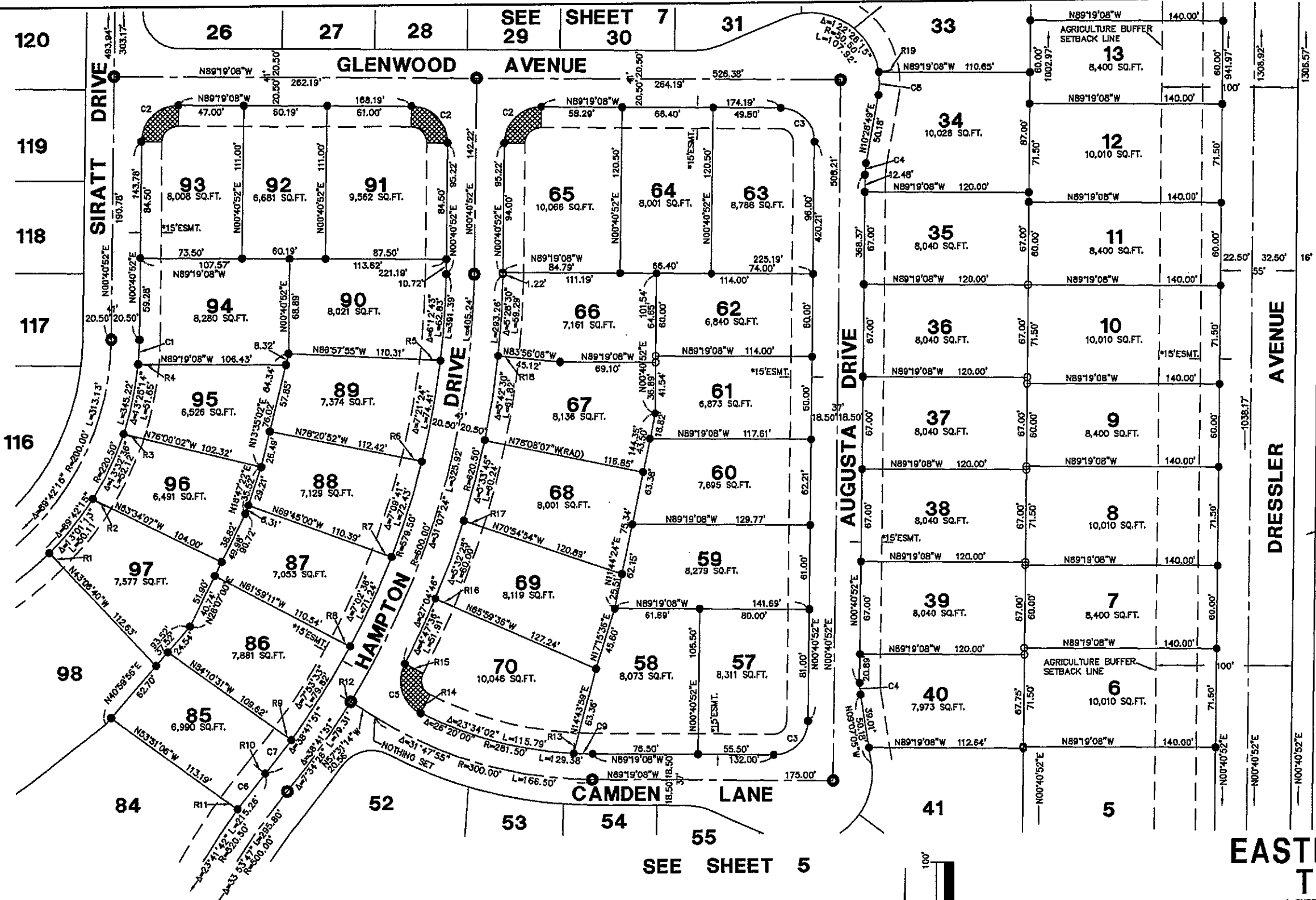
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SHEET 5 OF 9



RADIAL BEARINGS

LINE	BEARING
R1	N44°43'26"W
R2	N57°44'39"W
R3	N71°17'15"W
R4	N84°42'26"W
R5	N83°06'25"W
R6	N75°45'01"W
R7	N88°35'20"W
R8	N61°32'44"W
R9	N53°39'11"W
R10	N50°37'17"W
R11	N54°11'43"W
R12	N58°11'44"W
R13	N03°26'50"E
R14	N27°00'52"E
R15	N62°14'22"W
R16	N67°01'58"W
R17	N72°34'22"W
R18	N83°50'38"W
R19	N81°30'32"E

LOT 2
M.S. 5-97
(NOT A PART)

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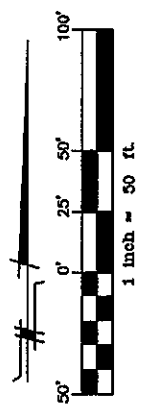
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CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA
C1	17.74	220.50	4°36'40"
C2	41.63	26.50	90°00'00"
C3	38.48	24.50	90°00'00"
C4	8.47	49.50	8°47'57"
C5	41.97	26.50	90°44'48"
C6	32.47	520.50	3°34'25"
C7	30.66	579.50	3°01'54"
C8	16.72	50.50	18°58'17"
C9	13.59	281.50	2°45'58"

LEGEND (THIS SHEET ONLY)

- SET 5/8" REBAR WITH PLASTIC CAP WITH L.S. 4597 AT ALL INTERIOR LOT CORNERS. SET 5/8" REBAR WITH PLASTIC CAP WITH L.S. 4597 PRODUCED 3.00' INTO LOT ALONG LOT SIDELINES AT ALL REAR LOT CORNERS ABUTTING TRACT BOUNDARY. ALL FRONT LOT CORNERS ARE NAIL AND TAG WITH L.S. 4597 SET IN CONCRETE CURB ON LOT SIDELINES PRODUCED 0.35' INTO STREET RIGHT OF WAY.
- ⊙ SET BRASS CAP MONUMENT STAMPED L.S. 4597 IN STANDARD CITY MONUMENT WELL.
- *ESMT. DENOTES PUBLIC UTILITY EASEMENT, PEDESTRIAN ACCESS, CABLE TV, TELEPHONE, TREE PLANTING AND MAINTENANCE EASEMENT PER THIS MAP
- ▨ DENOTES P.U.E., CABLE TV, TELEPHONE, PEDESTRIAN ACCESS, & TRAFFIC CONTROL DEVICE EASEMENT PER THIS MAP

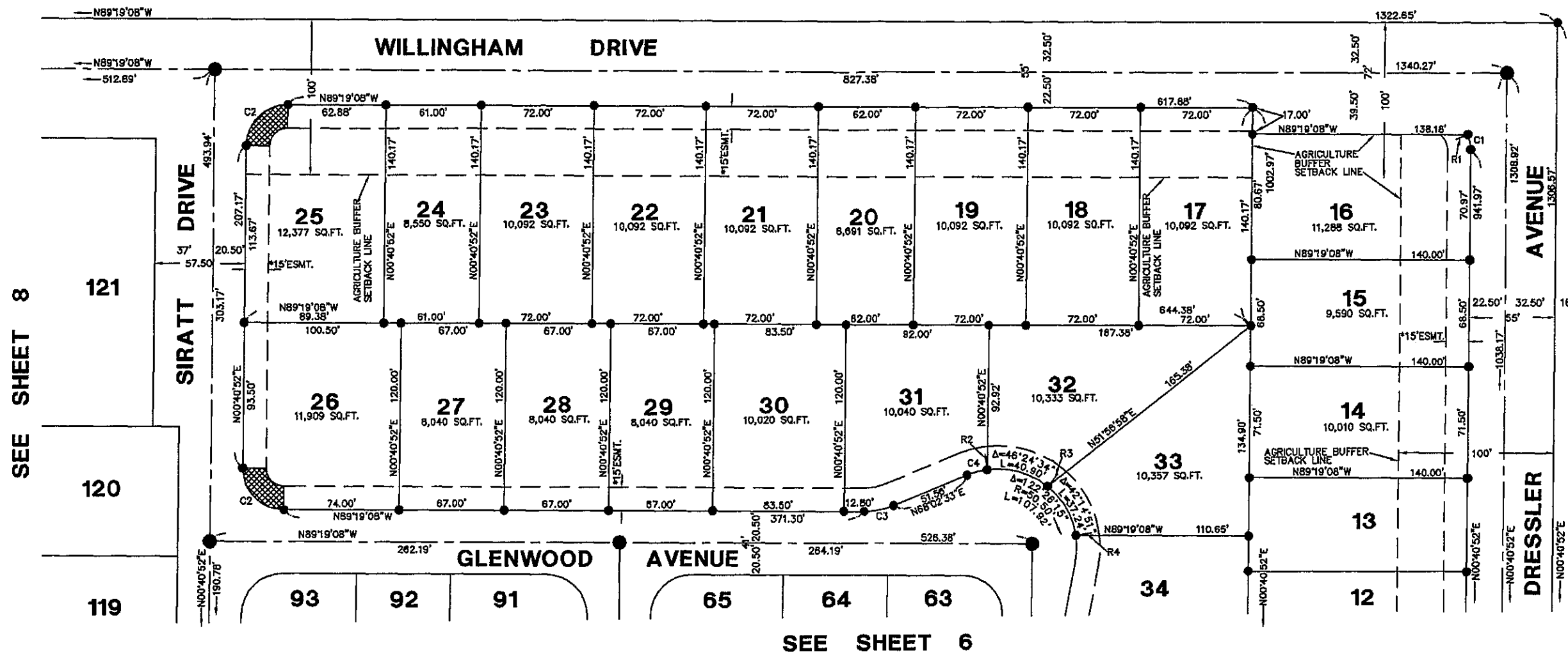


SEE SHEET 8

SEE SHEET 9

SEE SHEET 5

LOT 2
M.S. 5-97



SEE SHEET 8

SEE SHEET 6

LOT 2
M.S. 5-97
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- ⊙ SET BRASS CAP MONUMENT STAMPED L.S. 4597 IN STANDARD CITY MONUMENT WELL.
- (M) MEASURED DATA
- (R1) DATA PER
- (R2) DATA PER
- *ESMT. DENOTES PUBLIC UTILITY EASEMENT, PEDESTRIAN ACCESS, CABLE TV, TELEPHONE, TREE PLANTING AND MAINTENANCE EASEMENT PER THIS MAP
- ▨ DENOTES P.U.E., CABLE TV, TELEPHONE, PEDESTRIAN ACCESS, & TRAFFIC CONTROL DEVICE EASEMENT PER THIS MAP

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA
C1	9.93	26.50	21°28'17"
C2	41.63	26.50	90°00'00"
C3	19.56	49.50	22°38'19"
C4	13.05	50.50	14°48'34"

RADIAL BEARINGS

LINE	BEARING
R1	N89°12'35"E
R2	N07°08'53"W
R3	N39°15'41"E
R4	N81°30'32"E

EASTRIDGE ESTATES TRACT 5939

A SUBDIVISION OF A PORTION OF SUEY RANCHO, IN THE CITY OF SANTA MARIA, COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA.

FARGEN SURVEYS INC.

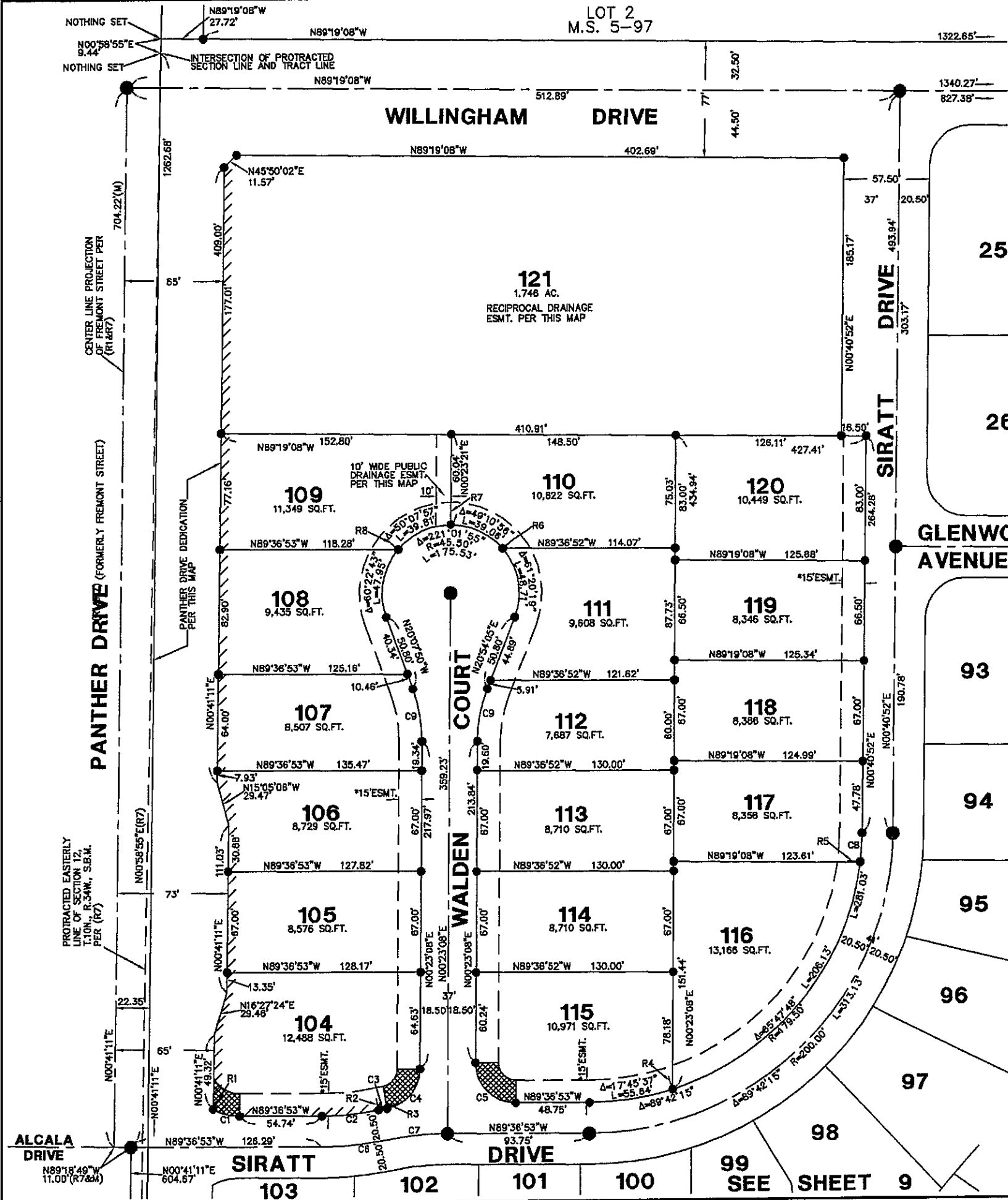
2624 AIRPARK DRIVE
SANTA MARIA, CALIFORNIA 93455
PHONE: 805-934-5727
FAX: 805-934-3448
DATE: JAN., 2009

TRACT 5939 SHT7.DWG

JOB: 08033

SHEET 7 OF 9

LOT 2
M.S. 5-97



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA
C1	18.27	34.50	30°29'12"
C2	37.52	178.50	11°58'33"
C3	5.69	220.50	1°28'44"
C4	36.77	26.50	79°30'10"
C5	41.63	28.50	80°00'01"
C6	41.80	200.00	11°58'33"
C7	41.80	200.00	11°58'33"
C8	19.26	178.50	6°08'50"
C9	35.63	99.50	20°30'57"

RADIAL BEARINGS

LINE	BEARING
R1	N30°43'19"E
R2	N11°39'28"W
R3	N10°06'42"W
R4	N17°22'30"W
R5	N83°10'18"W
R6	N49°33'48"E
R7	N00°22'50"E
R8	N49°43'07"W



LEGEND (THIS SHEET ONLY)

- SET 5/8" REBAR WITH PLASTIC CAP WITH L.S. 4597 AT ALL INTERIOR LOT CORNERS. SET 5/8" REBAR WITH PLASTIC CAP WITH L.S. 4597 PRODUCED 3.00' INTO LOT ALONG LOT SIDELINES AT ALL REAR LOT CORNERS ABUTTING TRACT BOUNDARY. ALL FRONT LOT CORNERS ARE NAIL AND TAG WITH L.S. 4597 SET IN CONCRETE CURB ON LOT SIDELINES PRODUCED 0.35' INTO STREET RIGHT OF WAY.
- ⊙ SET BRASS CAP MONUMENT STAMPED L.S. 4597 IN STANDARD CITY MONUMENT WELL.
- (M) DENOTES MEASURED DATA
- (R1) DENOTES DATA PER MAPS 183-12 TO 16
- (R7) DENOTES DATA PER MAPS 201-88 TO 75
- *ESMT. DENOTES PUBLIC UTILITY EASEMENT, PEDESTRIAN ACCESS, CABLE TV, TELEPHONE, TREE PLANTING AND MAINTENANCE EASEMENT PER THIS MAP
- ▨ DENOTES P.U.E., CABLE TV, TELEPHONE, PEDESTRIAN ACCESS, & TRAFFIC CONTROL DEVICE EASEMENT PER THIS MAP
- //// DENOTES DENIED ACCESS PER THIS MAP

EASTRIDGE ESTATES TRACT 5939

A SUBDIVISION OF A PORTION OF SUEY RANCHO, IN THE CITY OF SANTA MARIA, COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA.

FARGEN SURVEYS INC.
 2624 AIRPARK DRIVE
 SANTA MARIA, CALIFORNIA 93455
 PHONE: 805-934-5727
 FAX: 805-934-3448
 DATE: JAN., 2009

TRACT 5939 SHT8.DWG

JOB: 08033 SHEET 8 OF 9

25
26
SEE SHEET 7

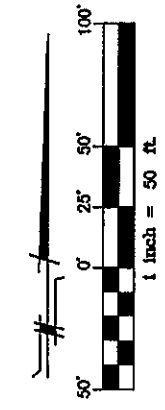
SEE SHEET 6

99
SEE SHEET 9

SEE SHEET 8

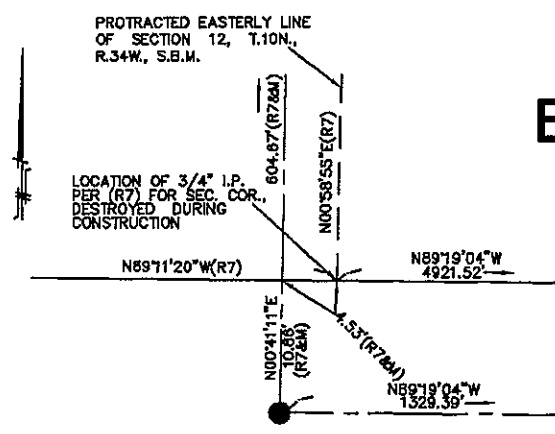
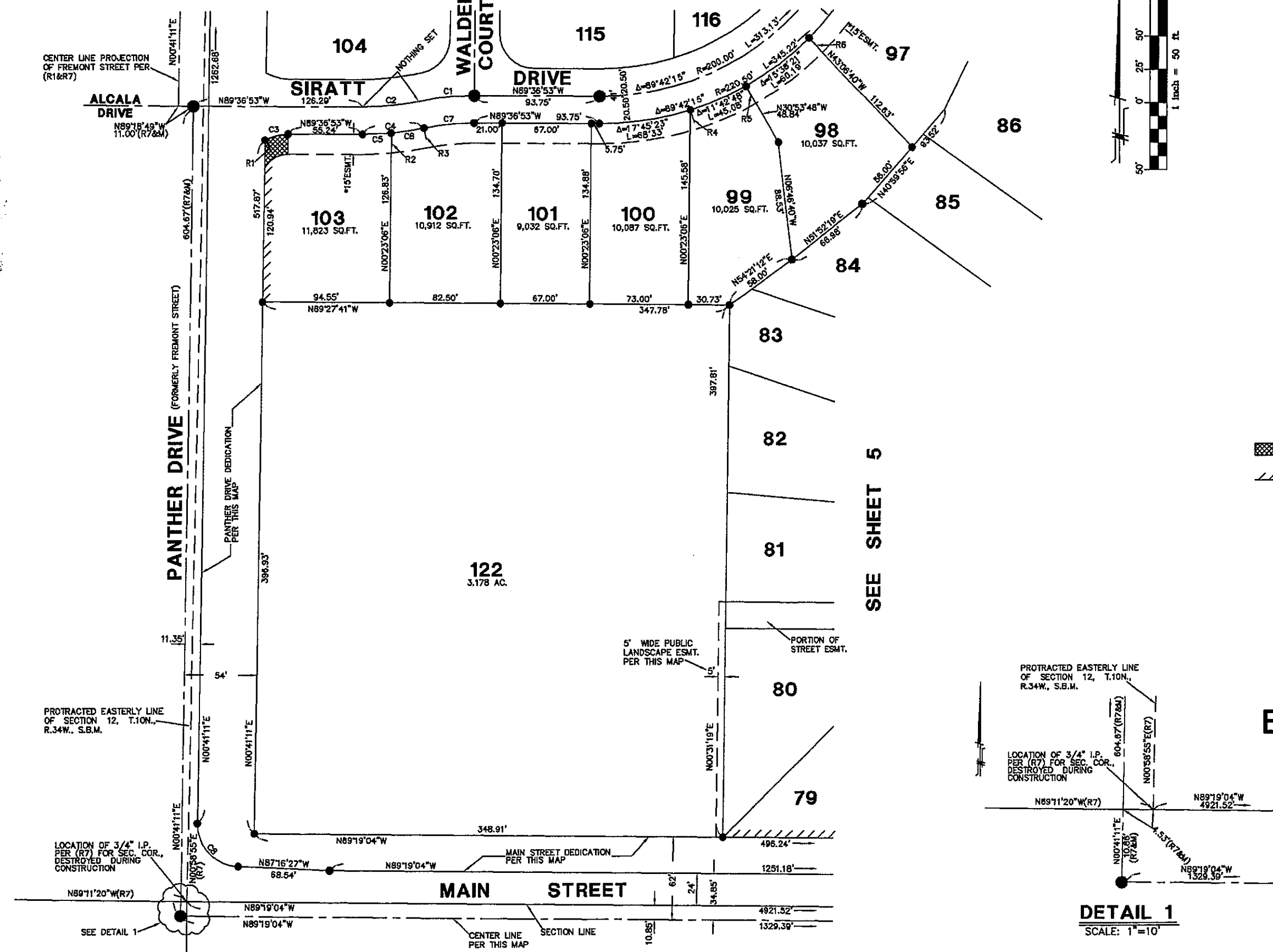
CURVE	LENGTH	RADIUS	DELTA
C1	41.80	200.00	11°58'33"
C2	41.80	200.00	11°58'33"
C3	17.99	34.50	28°52'49"
C4	48.09	220.50	11°58'33"
C5	21.53	220.50	5°15'37"
C6	24.56	220.50	6°22'56"
C7	37.52	179.50	11°58'33"
C8	49.13	32.00	87°57'38"

LINE	BEARING
R1	N29°29'42"W
R2	N05°12'30"W
R3	N11°35'26"W
R4	N17°22'17"W
R5	N29°05'05"W
R6	N44°43'26"W



LEGEND (THIS SHEET ONLY)

- SET 5/8" REBAR WITH PLASTIC CAP WITH L.S. 4597 AT ALL INTERIOR LOT CORNERS. SET 5/8" REBAR WITH PLASTIC CAP WITH L.S. 4597 PRODUCED 3.00' INTO LOT ALONG LOT SIDELINES AT ALL REAR LOT CORNERS ABUTTING TRACT BOUNDARY. ALL FRONT LOT CORNERS ARE NAIL AND TAG WITH L.S. 4597 SET IN CONCRETE CURB ON LOT SIDELINES PRODUCED 0.35' INTO STREET RIGHT OF WAY.
- ⊙ SET BRASS CAP MONUMENT STAMPED L.S. 4597 IN STANDARD CITY MONUMENT WELL.
- (M) DENOTES MEASURED DATA
- (R1) DENOTES DATA PER MAPS 183-12 TO 16
- (R7) DENOTES DATA PER MAPS 201-68 TO 73
- *ESMT. DENOTES PUBLIC UTILITY EASEMENT, PEDESTRIAN ACCESS, CABLE TV, TELEPHONE, TREE PLANTING AND MAINTENANCE EASEMENT PER THIS MAP
- ▨ DENOTES P.U.E., CABLE TV, TELEPHONE, PEDESTRIAN ACCESS, & TRAFFIC CONTROL DEVICE EASEMENT PER THIS MAP
- //// DENOTES DENIED ACCESS PER THIS MAP



DETAIL 1
SCALE: 1"=10'

EASTRIDGE ESTATES TRACT 5939

A SUBDIVISION OF A PORTION OF SUEY RANCHO, IN THE CITY OF SANTA MARIA, COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA.

FARGEN SURVEYS INC.

2624 AIRPARK DRIVE
SANTA MARIA, CALIFORNIA 93455
PHONE: 805-934-5727
FAX: 805-934-3448
DATE: JAN., 2009

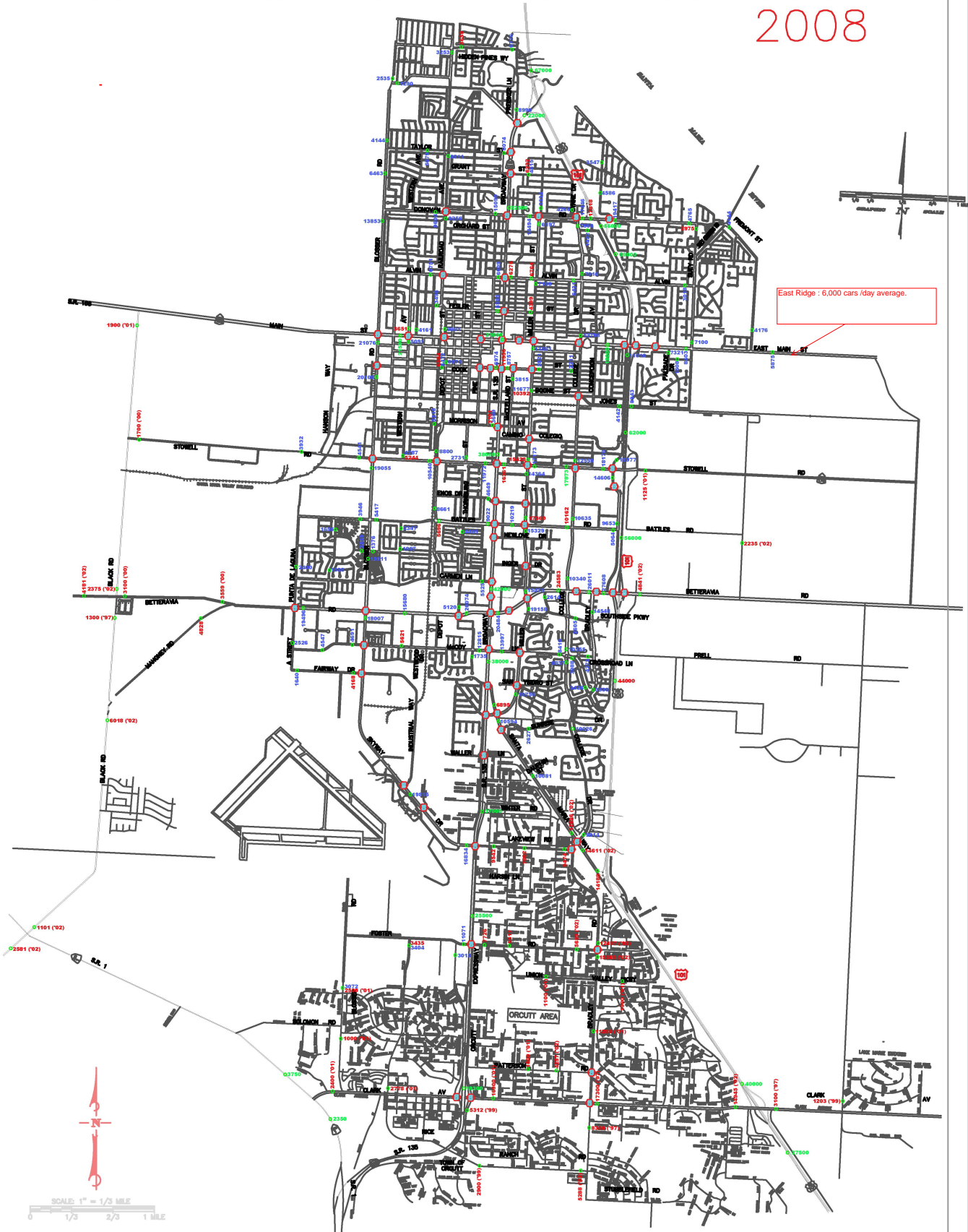
TRACT 5939 SHT9.DWG

JOB: 08033

SHEET 9 OF 9

Tab

ANNUAL TRAFFIC COUNT SUMMARY SANTA MARIA — URBANIZED AREA 2008



LEGEND

- TRAFFIC SIGNAL LOCATION
- XXXX ○ VARIOUS YEARS — 24 HOUR VOLUME (TWO-DIRECTIONAL) — BY COUNTY OF SANTA BARBARA
- XXXX ○ 2008 — 24 HOUR VOLUME ADT (TWO-DIRECTIONAL) — BY CALTRANS
- XXXX ○ 2008 — 24 HOUR VOLUME ADT (TWO-DIRECTIONAL) — BY CITY OF SANTA MARIA

NOTES:

1. CITY COUNT LOCATIONS WERE COUNTED DURING THE MONTH OF NOVEMBER.
2. COUNTY COUNTS WERE OBTAINED FROM COUNTS COLLECTED DURING 1997-2002. COUNTY YEAR IS LISTED AFTER TRAFFIC VOLUME.
3. TRAFFIC COUNTS ON STATE HIGHWAYS WERE TAKEN FROM THE CALIFORNIA STATE HIGHWAY 2004 TRAFFIC VOLUMES.

East Ridge

LIMONEIRA
SINCE 1893

East Ridge



Plan A

Traditional



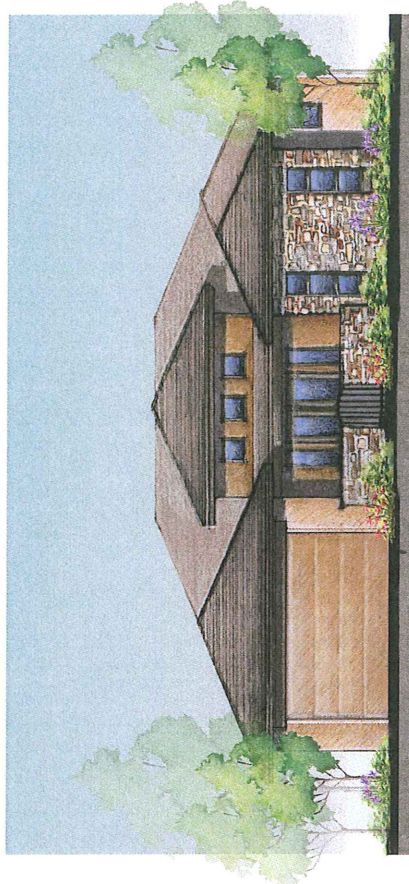
Plan B

Traditional



Plan C

Traditional

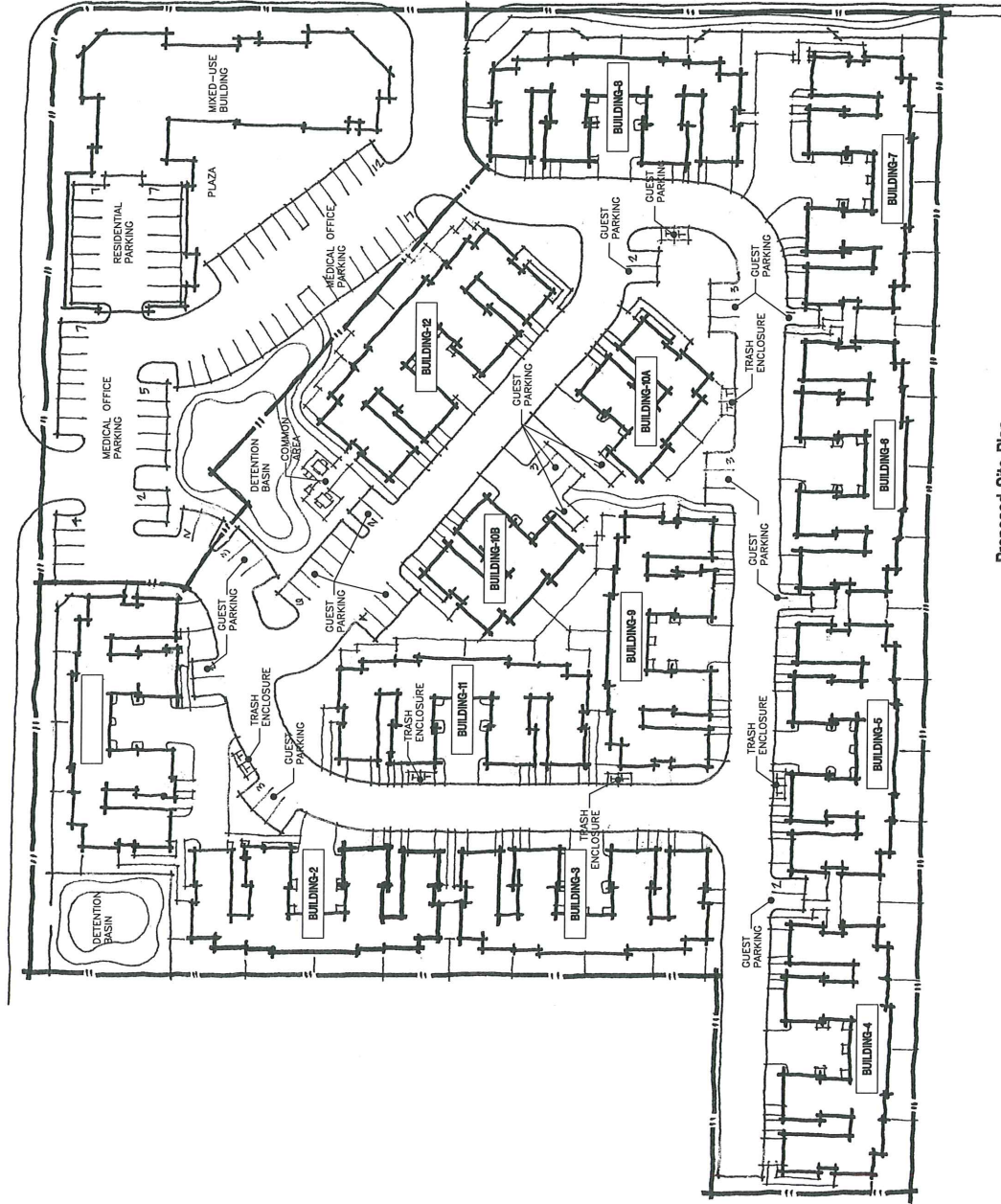


Plan D

Traditional

Plaza Drive

Miller Street



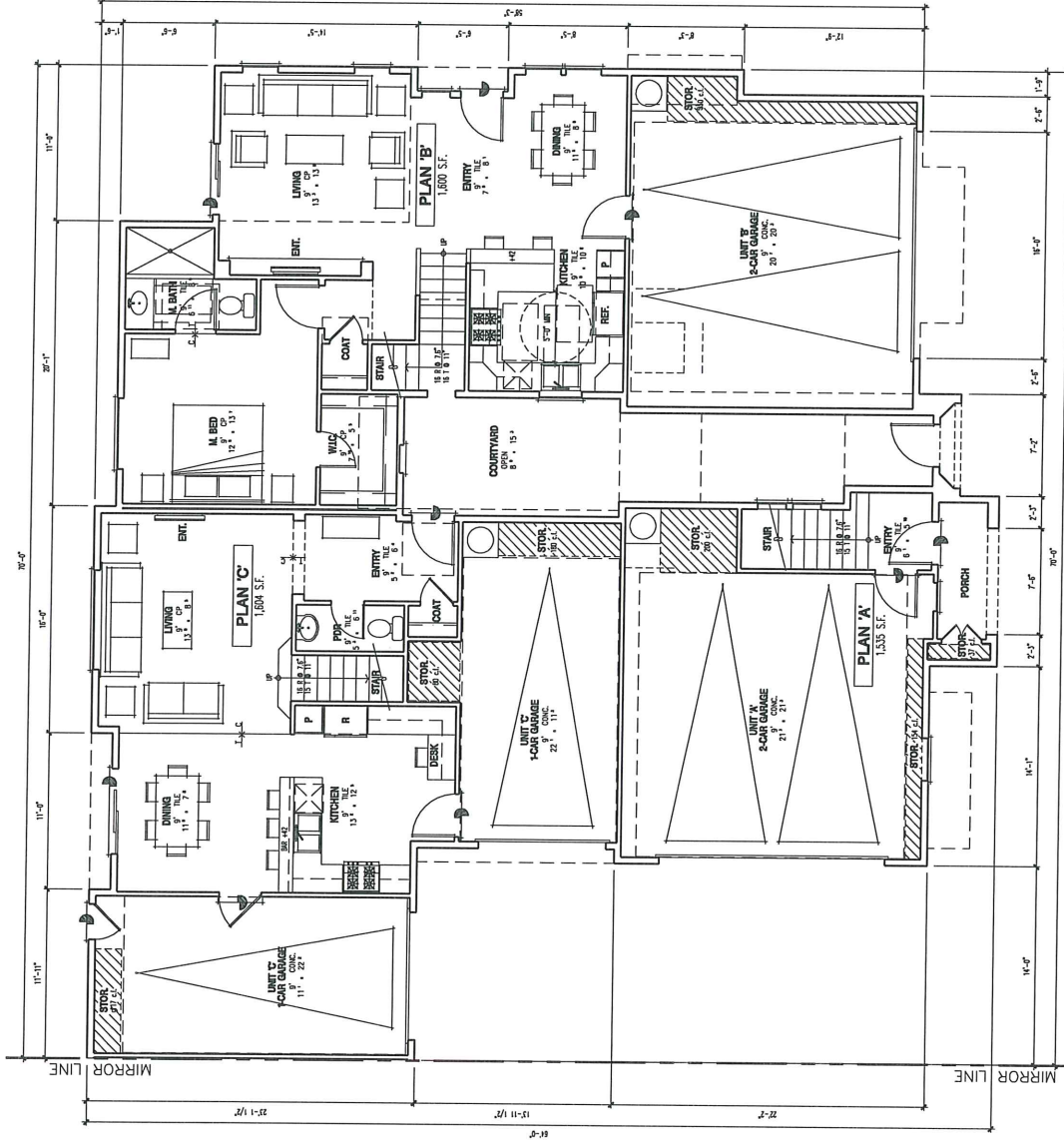
Proposed Site Plan

Central Square and Plaza Drive
Southwest Corner of Miller Street and Plaza Drive
Santa Maria, CA

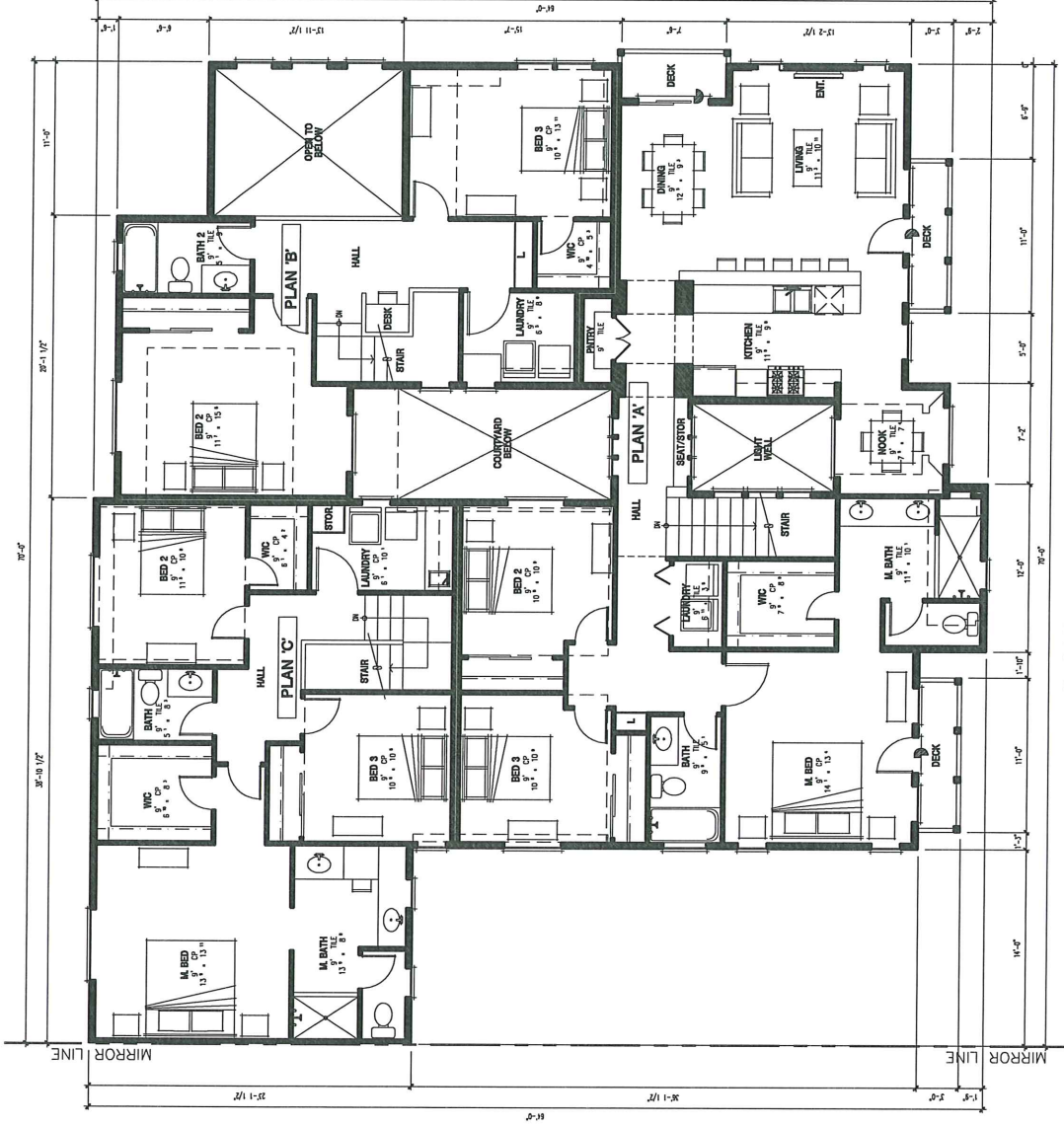


LGIA
LEONARD GRANT, ARCHITECT
200 JACOB WELLER ROAD SANTA MARIA, CA 93458
PHONE: 805.773.7110 FAX: 805.773.7116

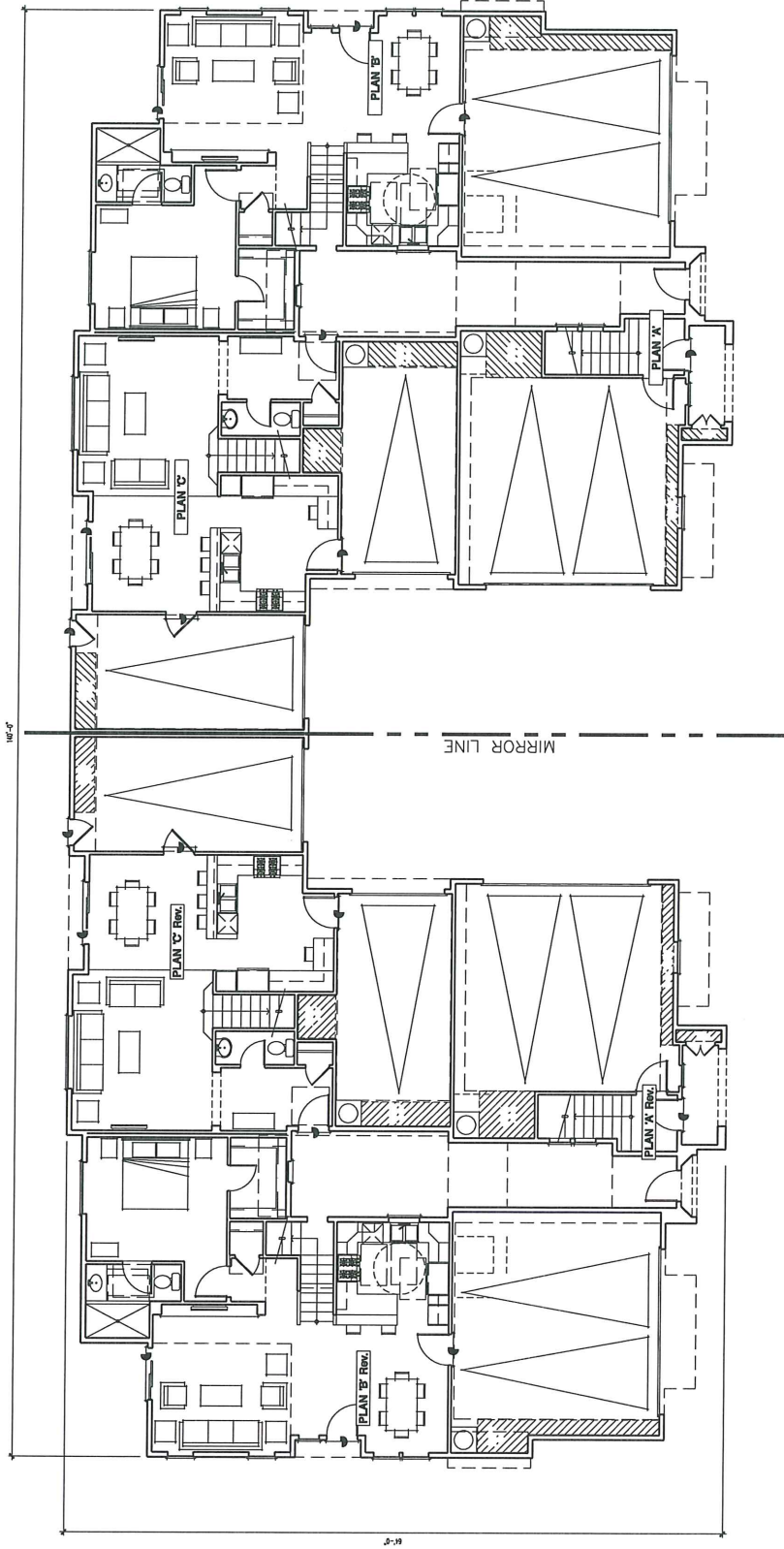
P-2
Sheet 1 of 2
05 October 2010



Partial Lower Floor Plan



Partial Upper Floor Plan



Building - Lower Floor Plan

Tab



Fire Department

"Serving the community since 1926"

4410 Cathedral Oaks Road
Santa Barbara, CA 93110-1042
(805) 681-5500 FAX (805) 681-5563

John M. Scherrei
Fire Chief

August 30, 2007

RECEIVED

SEP 04 2007

COMMUNITY DEVELOPMENT DEPT.
DV

Bill Scott, Project Planner
City of Santa Maria
Community Development Department
110 East Cook Street # 101
Santa Maria, California 93458

Dear Mr. Scott:

Development Review Transmittal: Revised Tract Map
Project Name: East Ridge
Project Address/Location: Northeast Corner of East Main Street and Panther Lane
Assessor Parcel No.(s): 128-052-42 and -43

Santa Barbara County Fire Department, Fire Prevention Division (FPD) has reviewed our files and site lists. Based on the APN provided, FPD has found no current sites at the project location. *However, due to historical oil production activities in the Santa Maria Valley, there is a potential for oilfield sumps or related features to exist on the property. Therefore,*

- *FPD defers to the State of California's Division of Oil, Gas and Geothermal Resources (DOGGR) and the Santa Barbara County Planning and Development, Building and Safety Division for clarification of current and/or historical oil exploration and production activities in or near the project area.*
- *Please be advised: Should contamination be observed or suspected during any and all phases of development activities, stop work immediately and contact FPD at 805-686-8170.*

Thank you for giving us an opportunity to have input into your process. If you have any questions, please call me at 686-8169.

Sincerely,

Kate Sulka
Kate Sulka

Hazardous Materials Supervisor

Escc 128052-42 and -43 Northeast Corner of E. Main St and Panther Lane 2nd Response.doc

Attachment

cc: Mr. Jeff Thomas, Planning and Development Building and Safety Division
Mr. Ed Brannon, DOGGR
Ms. Peggy Woods, City of Santa Maria Planning Division Manager
Mr. Bob Marshall, City of Santa Maria Building Division Manager



**MEMORANDUM
COMMUNITY DEVELOPMENT DEPARTMENT**

July 10, 2007, Revised November 2, 2007

TO: Subdivision Committee Members and Associates
FROM: Community Development Department
SUBJECT: **EASTRIDGE TENTATIVE TRACT MAP, TRACT 5939,
(PRELIMINARY MAP)**

Property Description: Northeasterly quadrant of East Main Street and Panther Drive
Assessor Parcel No(s): 128-052-042, -043 **Acres:** 39.5
Zoning: R-1 (Single-family residential) and PD/C-2 (Planned Development/General Commercial)
Land Use Designation: LWDR-5 (Lower Density Residential 5-units per acre) and CC (Convenience Center)
Streets: Public Streets **Retardation:** On-site
#Lots: 120 **Type:** Residential **Size:** 6,834 square feet to 12,576 square feet
Lot: 1 **Type:** Retention Basin **Size:** 1.53 acre
Lot: 1 **Type:** Future Commercial **Size:** 3.0 acres

Conditions of Approval

1. Pursuant to Government Code §66474.9(b), the subdivider shall defend, indemnify and hold harmless the City and/or its agents, officers and employees from any claim, action or proceeding against the City and/or its agents, officers or employees to attack, set aside, void or annul, the approval by the City of this subdivision, Tract 5939, and all actions relating thereto, including but not limited to environmental review, and action taken pursuant to §66462.5 of the Subdivision Map Act.
2. The mitigation measures contained in the EIR (E-2005-027, GPZ-2005-003), apply to this project. Mitigation measures identified in the FEIR E-2005-027, with Addendum incorporated herein by reference, shall be applied to the project as conditions of development, which are stated in the Mitigation Monitoring Program, Attachment 2 of the Planning Commission Resolution recommending certification of the Final EIR.
3. All utilities, including cable television, shall be installed as a condition of approval of this map. Said utilities shall be underground in accordance with the provisions of the Santa Maria Municipal Code. All easements necessary for service shall be shown on the recordable map.

4. The following boundary walls shall be constructed as part of this subdivision. All walls shall be located on private property and maintained by the property owner. The wall height, type, and location shall be noted on the tentative map.
 - a. A six (6)-foot high, architecturally treated slumpstone masonry wall with pilasters along the southerly property line of Lots 1, 71 through 79 and along the westerly property line of Lots 103 through 109. The height of said wall shall be 6 feet measured from the highest ground level elevation on either side of the wall, with a minimum height of 6 feet above the top of curb.
 - b. An 8-foot high, architecturally treated slumpstone masonry wall with pilasters along the westerly property line of Lots 80 through 83 and along the southerly property line of Lots 99 through 103. The height of said wall(s) shall be 8 feet measured from the highest ground level elevation on either side of the wall, with a minimum height of 8 feet above finished pad elevation.
 - c. A 6-foot high, architecturally treated slumpstone masonry wall with pilasters along the north property line of Lots 109, 110 and 120. The height of said wall shall be 6 feet measured from the highest ground level elevation on either side of the wall, with a minimum height of 6 feet above finished pad elevation.
 - d. A 6-foot high, architecturally treated slumpstone masonry wall with pilasters along the north property line of Lot 80 and the south property line of Lot 81. The height of said wall(s) shall be 6 feet measured from the highest ground level elevation on either side of the wall, with a minimum height of 6 feet above finished pad elevation.
 - e. A 6-foot high, architecturally treated slumpstone masonry wall with pilasters along the north property line of Lot 16. The height of said wall shall be 6 feet measured from the highest ground level elevation on either side of the wall, with a minimum height of 6 feet above finished pad elevation.
5. A cost estimate for all of the walls required by Condition No. 4, shall be submitted prior to recordation of the map in an amount sufficient to guarantee installation of the subdivision boundary walls. A surety shall be posted prior to recordation of the map in an amount sufficient to guarantee installation of these walls in accordance with Section 11-08.6(c) (3) of the City's Municipal Code.
6. The applicant shall comply with conditions identified in the Preliminary Public Works Department Memorandums dated June 21, 2007 and October 29, 2007 and any subsequent Public Works conditions as agreed by the applicant.
7. Prior to occupancy of the first building a 5-foot high, decorative wrought iron fence of heavy gauge iron with decorative posts along the north, east and west perimeter of the retention basin (Lot 121). The height of said fence shall be five (5) feet measured from the highest ground level elevation on either side of the wall, with a minimum height of five (5) feet above finished pad elevation. The design and color of said decorative iron fence shall be approved by the Department of Recreation and Parks and the Community Development Department.

8. Prior to occupancy of the first building, the lot designated for future commercial development (Lot 122) shall be hydroseeded and maintained with a ground cover to achieve a safe and attractive surface for pedestrians traversing the pedestrian paseo until such time that said lot is developed. The project proponent may submit any alternative method(s) deemed appropriate by the City of Santa Maria may be applied to satisfy said condition.
9. Prior to occupancy of any lot or building approved by this tentative map. A six (6) foot high, perimeter fence containing wood and split face block pilasters shall be constructed along the northerly and easterly Tract boundary. The fence shall be maintained by the City. The height of said fence shall be 6 feet measured from the highest ground level elevation on either side of the wall, with a minimum height of 6 feet above finished pad elevation. The design of said fence shall be approved by the Community Development Department.
10. A twenty (20) foot wide landscaped pedestrian paseo with a four (4) foot wide concrete sidewalk extending to the future commercial development, located between Lots 80 and 81 shall be constructed by the project proponent and maintained by the City.
11. Three (3) copies of the proposed conditions, covenants and restrictions ("CC&R's"), or other maintenance agreement acceptable to the Community Development and Public Works Departments, shall be submitted prior to recordation of the final map. The CC&R's shall address the following items:
 - a. Protection of solar access.
 - b. The prohibition of parked vehicles within the front yard setback areas except for the paved driveways.
 - c. That all lots must participate in the landscape maintenance district.
 - d. All walls on individual lots shall be maintained by the property owner.
 - e. That the site is adjoining Pioneer Valley High School and the football field.
 - f. The following wording shall be contained in the CC&Rs for the project:

"Development of each lot within this subdivision is subject to strict conformance of the East Ridge Design Guidelines."

"Individual lot drainage plans shall include downspout gutters that direct runoff a sufficient distance from the building, foundation but then daylight into vegetated areas (i.e., grass or other ground cover) capable of allowing low flows to percolate into pervious surfaces before the stormwater exits the residential lot and enter the adjacent street.

"Lots 80 through 83 and lots 99 through 103 are adjacent to future commercial/residential mixed use development that will potentially include, lighting service and other activities typically associated with commercial uses."

"The pedestrian pathway between lots 80 and 81 will be maintained for permanent through public access."

"This property is located close to agricultural land uses and/or operations, and may be subject to inconvenience or discomfort from one or more of the following agricultural practices:

- a. Cultivation and tilling.
- b. Burning of agricultural waste.
- c. Lawful and proper use of agricultural chemicals, including pesticides and fertilizers.
- d. Production, irrigation, pruning, growing harvesting, and processing of agricultural commodities.

~~Any or all of the above practices may generate smoke, dust, noise, and odor."~~

"This property is located close to a public high school site, which may include bus routes, stadium lights and noise, pedestrian/bicycle traffic, public parking, and automobile traffic that are not typically found in residential neighborhoods."

"This property is located along the primary route to a public landfill site, which may include truck traffic, noise, odors, and occasional high volumes of vehicle traffic during free landfill days."

12. A Maintenance Assessment District shall be established to the satisfaction of the Recreation and Parks Department to ensure proper maintenance of the retardation basin, street trees, common landscaping, fencing, and the pedestrian pathway between Lots 80 and 81, and any other common facilities. Documentation of the said Maintenance District shall be submitted prior to issuance of the Final Map. A note to this effect shall appear on the recordable map.
13. Prior to recordation of the Final Map, the project proponent shall provide a sufficient number of copies of the East Ridge Design Guidelines to the Community Development Department and/or acceptable means to reproduce copies of the East Ridge Design Guidelines to the satisfaction of the Community Development Department. All materials provided shall be of versions as approved by the Planning Commission. The project proponent shall provide a copy of the East Ridge Design Guidelines to each homeowner with the CC&R's at closing.
14. The street alignments as shown on the map shall be installed. All interior streets within the R-1 area shall be designed and installed with 8-foot parkways.
15. The proposed street names have been approved by the Police and Fire Departments. All approved street names shall appear on the final map.
16. The project shall provide at least 100 feet of separation between single-family living areas and the agricultural fields to the north, south, and east of the project site.
17. This project is subject to the City's AB1600 Mitigation Fee Program. The actual fee amount shall be based on the codes and rates in effect at the time of building permit issuance. A note to this effect shall appear on the recordable map.

18. Construction activities shall be limited to the hours between 7:00 a.m. and 6:00 p.m., Monday through Friday, and 8:00 a.m. to 5:00 p.m. on Saturdays. A note to this effect shall appear on the final map.
19. The developer shall comply with the City of Santa Maria standard grading and dust control provisions during construction of the project. A surety shall be posted prior to recordation of the map in an amount sufficient to guarantee installation of these walls in accordance with Section 11.08.6(c) of the City's Municipal Code.
20. If the map is revised from the approved tentative map, or if changes to conditions are sought, the procedures contained in Chapter 10 of Title 11 of the Municipal Code shall be followed.
21. Based on the current configuration of the project, security gates shall not be permitted at any time for this project. A note to this effect shall appear on the final map.
22. Public landscaping shall be installed in the following locations:
 - a. Along all of the street frontages, including East Main Street, Panther Drive, Willingham Drive and Dressler Avenue.
 - b. Around the perimeter and within the retention basin site (Lot 121).
 - c. Within the twenty foot wide pedestrian paseo between Lots 80 and 81.
 - d. The street trees within the 8-foot wide parkways along the interior streets. The interior street trees shall provide a canopy effect. A list of approved canopy street trees is available.
23. All landscaping along public right-of-ways, and any other areas accepted by the Recreation and Park's Department, shall be permanently maintained through a City landscape maintenance district. The applicant shall sign a consent form to be annexed to the City Lighting and Maintenance District prior to recordation of the map.
24. Landscape plans shall be included in the Public Improvement Plans (P.I.P.'s) and approved prior to recordation of the final map. A surety estimate shall be submitted and posted prior to recordation of the map in an amount sufficient to guarantee installation of the landscaping and maintenance for one year. This landscaping shall be installed and maintained by the developer for one year as part of this project.
25. Prior to occupancy of the first building, the project developer shall submit a Master Exterior Lighting Plan for the entire residential portion of the project site. The master Lighting Plan shall be consistent with the requirements of Environmental Condition AES-3. The design of exterior lighting fixtures shall contain a nostalgic design element and shall be consistent with a pedestrian scale. The requirements of this condition shall be shown upon submittal of the Final Map and shall be reviewed and approved by the Community Development Department and the Department of Public Works. Documentation of the Lighting Plan shall be submitted prior to issuance of the Final Map. A note to this effect shall appear on the recordable map.

26. Those lots adjoining the following streets shall not take their access from said street(s). A note to this effect shall appear on the recordable map.
 - a. Main Street.
 - b. Panther Lane.
 - c. Lot 104 to Siratt Drive.

27. All utility laterals shall be located within 12 feet of either side property line. Utility lateral easements shall be reflected on each of the lots 12 feet from both side property lines, and the applicant shall obtain an agreement to subordinate to these easements from senior lienholder(s). A note to this effect shall appear on the final map.

28. The recordable map for this project shall be prepared and submitted to the Public Works Department for checking, and shall be recorded within 36 months of the approval date.

29. The Subdivision Committee recommends to the Planning Commission that the following findings be made with regard to the proposed subdivision:
 - a. The proposed map is consistent with applicable general and specific plans because the lot sizes, meet all applicable general plan and zoning requirements. At a ratio of forty two percent (42%) of the Lots 10,000 square feet or larger; forty percent (40%) of the Lots are 8,000 square feet or larger; and eighteen percent (18%) of the Lots are 6,000 square feet or larger the project meets or exceeds the intent of larger lots provided by the lot size ratios established by GPZ-2005-003, (East Ridge, formerly La Ventana II Specific Plan).
 - b. The design or the improvement of the proposed subdivision is consistent with applicable general and specific plans because the design of the lots, meet all applicable general plan and zoning requirements. Lot sizes and width are in substantial conformance with the development standards of the R-1 zoning district. Less than five (5%) of the lots have frontages of less than sixty feet (60) in width, those of which are located on exterior "elbow" locations on curved streets.
 - c. The site is physically suitable for the type of development because no physical constraints exist on the property that would limit development on the proposed lots.
 - d. The design of the proposed subdivision or the proposed improvements will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat because no environmental concerns have been identified on the property based on the initial study for the project (subject to verification in the environmental document).
 - e. The design of the subdivision or the type of improvements are not likely to cause a serious public health problem because no public health concerns have been identified on the property.
 - f. The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision because no known public use easements exist on the property.

- g. The discharge of waste from this proposed land division into the existing community sewer system will not result in a violation of existing requirements prescribed by the Regional Water Quality Control Board.

Special Environmental Conditions

Mitigation Measures

The following environmental mitigation measures were incorporated into the Conditions of Approval for this project in order to mitigate identified environmental impacts to a level of insignificance. A completed and signed checklist for each mitigation measure indicates that this mitigation measure has been complied with and implemented, and fulfills the City's monitoring requirements with respect to Assembly Bill 3180 (Public Resources Code Section 21081.6).

1. **AES-1.1** Residential structures bordering Main Street and Panther Drive (formerly Fremont Street) shall be limited to a maximum height of 25 feet from finished grade. Commercial structures bordering Main Street and Panther Drive Fremont Street shall be limited to a maximum height of 35 feet from finished grade. All commercial structure rooftop equipment shall be shielded from view within this 35-foot height maximum.
2. **AES-2.1** Covered receptacles shall be provided onsite prior to commencement of grading or construction activities to prevent construction and/or employee trash from blowing offsite. The applicant or designee shall retain a clean-up crew to ensure that trash and all excess construction debris is collected daily or more frequently, as directed by compliance monitors, and placed in provided receptacles throughout construction.
3. **AES-2.2** In order to maintain the existing residential development character in the project vicinity, project Design Guidelines shall be prepared identifying potential architectural design, style, scale, and building materials of future structures consistent with adjacent development. Project Design Guidelines shall be designed consistent with the City's Neo-traditional Design Standards.
4. **AES-2.3.1** Landscape Guidelines for all common spaces, perimeter landscaping outside of the single family residential areas, and perimeter sound walls shall be prepared by a City-approved landscape architect that includes the following:
 - a. Screen trees shall be planted along parcel boundaries visible from Main Street and Panther Drive/Fremont Street at such spacing and height to provide screening of proposed structures and sound walls, while maintaining proportionality and scale with adjacent structural heights. Screen tree species shall generally achieve a height of between 15 to 25 feet at maturity.
 - b. Perimeter site plantings including accent trees and ornamental shrubs shall be spaced and/or clustered to feasibly screen views from the right-of way. The perimeter site planting species shall be compatible with existing vicinity street trees, and shall provide partial shade at maturity.

- c. The Landscape Guidelines shall identify the layout of the irrigation system for maintaining landscaping and include a maintenance and watering schedule. The applicant shall install the required trees, shrubs, vines, ground cover and irrigation designed to connect to the future irrigation system on each respective lot. The Landscape Guidelines shall comply with Chapter 44 of the Municipal Code (Landscape Requirements).
5. **AES 2.3.2** The second-story of any residential structure fronting Panther Drive/Fremont Street and/or Main Street shall be setback a minimum of 10 feet from the first-floor walls to reduce the visual effect as experienced from these roadways. These second story floor areas for single-family residential structures shall be no more than 50-percent of the first-floor area.
6. **AES-3** Project site exterior night lighting shall be of a low intensity, low glare design, and be hooded to direct light downward onto the subject parcel and prevent spill-over onto adjacent parcels. Building wall-mounted and pedestrian walkway lighting fixtures shall be placed at heights that would be sufficiently high to promote project safety, but low enough to limit unnecessary spill over effects. Wall-mounted lights shall not be mounted higher than 10 feet from finished ground level, and free-standing light poles shall not extend higher than 25 feet above finished parking lot grade. The developer shall submit a Master Lighting Plan for the project site including commercial areas, street lighting, and all common areas. The plan shall show specific lighting locations, type of lighting, height of lighting fixtures (wall-mounted and free-standing), and lighting specifications for commercial areas, street lighting, and all common areas shall be depicted on building plans. , and demonstrate that lighting will not spill onto adjacent properties. Wall-mounted lights shall not be mounted higher than 10 feet from finished ground level, and free-standing light poles shall not extend higher than 25 feet above finished parking lot grade.
7. **AGRIC-2.1** A minimum 100-foot setback shall be maintained between residential building envelopes on the northern and eastern project site boundaries and adjacent agricultural properties. The width of the buffer zone (setback) shall include any public street right-of-way and the front, side, or rear yard setbacks. This measure shall apply to all habitable structures; non-habitable structures such as sheds shall be excluded.
8. **AGRIC-2.2** Perimeter fencing shall be installed along the northern and eastern perimeter property lines. Perimeter fencing made of wood, masonry or other material acceptable to the Community Development Department with a minimum 6-foot height shall be installed, and maintained to minimize the dispersion of fertilizers, pesticides, and dust associated with farm equipment use on the adjacent agricultural lots. The fencing along the northern and eastern project site perimeters may be placed adjacent to the property line.
9. **AGRIC-2.3** The following "Right to Farm" buyer notification shall be recorded on a separate information sheet with the final tract map. Prior to recordation of the final map, the applicant shall request the State Department of Real Estate to include the following

note in its public subdivision report (white sheet). The following Right to Farm declaration shall be printed on all sales brochures and included for residential lots located on the northern and eastern site boundaries:

"IMPORTANT: BUYER NOTIFICATION"

This property is located adjacent to property zoned for agriculture and is located in an area that has been planned for agricultural uses. The Board of Supervisors has determined that it is in the public interest to preserve agricultural land and operations within the County of Santa Barbara and to specifically protect these lands for exclusive agricultural use. Through enactment of an ordinance adding Section 3-23, Article V to Chapter 3 of the County Code, any inconvenience or discomfort from properly conducted agricultural operations, including noise, odors, dust, and chemicals, will not be deemed a nuisance.

10. **AQ-1.1a** If the construction area is graded and left undeveloped for over four weeks, the applicant shall employ the following methods immediately to inhibit dust generation:
 - a. seeding and watering to revegetate graded areas; and/or
 - b. spreading of soil binders; and/or
 - c. any other reasonable methods deemed appropriate by the City of Santa Maria.
11. **AQ-1.1b** Dust generated by the development activities shall be kept to a minimum with a goal of retaining dust on the project site. The following dust control standard conditions shall be followed:
 - a. During clearing, grading, earth moving, excavation, or transportation of cut or fill materials, water trucks or sprinkler systems shall be used to prevent dust from leaving the construction area and to create a crust after each day's activities cease.
 - b. During construction, water trucks or sprinkler systems shall be used to keep all areas of vehicle movement damp enough to prevent dust from leaving the construction area. At a minimum, this would include wetting down such areas in the later morning and after work is completed for the day and whenever wind exceeds 15 miles per hour.
 - c. Soil stockpiled for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation.
 - d. Gravel pads shall be installed at all access points to prevent tracking of mud onto public roads.
12. **AQ-1.1c** The contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering as necessary to prevent transport of dust off-site. Their duties shall include holiday and weekend periods when work may not be in progress.

13. **AQ-1.2 Diesel particulate matter and NOx emissions generated by construction equipment shall be reduced by application of the following equipment control standard conditions:**
- a. Heavy-duty diesel-powered construction equipment manufactured after 1996 (with federally mandated "clean" diesel engines) shall be utilized whenever feasible.
 - b. The engine size of construction equipment shall be the minimum practical size.
 - c. The number of construction equipment operating simultaneously shall be minimized through efficient management practices to ensure that the smallest practical number is operating at any one time.
 - d. Construction equipment shall be maintained in tune per the manufacturer's specifications.
 - e. Construction equipment operating onsite shall be equipped with two to four degree engine timing retard or pre-combustion chamber engines.
 - f. Catalytic converters shall be installed on gasoline-powered equipment, if feasible.
 - g. Diesel catalytic converters, diesel oxidation catalysts, and diesel particulate filters as certified and/or verified by EPA or California shall be installed, if available.
 - h. Idling of heavy-duty diesel trucks during loading and unloading shall be minimized and limited to five minutes; auxiliary power units shall be used whenever possible.
 - i. Construction worker trips shall be minimized by requiring carpooling and by providing for lunch onsite.
 - j. Diesel-powered equipment shall be replaced by electric equipment whenever feasible.
14. **HYDRO/WQ-1** Consistent with City Public Works design standards, a retardation basin shall be constructed on site to provide adequate retardation for 2-year through 100-year storm events, such that peak off-site storm flows are equal to or less than existing flows. As feasible, the retardation basin shall be incorporated in common open space project areas. The retardation basin shall incorporate relevant design criteria to ensure appropriate vector prevention. The basin bottom design shall allow for removal of any residual standing water by gravity or by pumping, avoiding the potential for runoff ponding.
15. **HYDRO/WQ-3** The applicant shall submit proof of the Notice of Intent to obtain coverage under the Construction General Permit of the NPDES, issued by the California State Water Resources Control Board. The applicant shall also obtain a City Grading Permit. The SWPPP/ Erosion and Sediment Control Plan BMPs shall include but not be limited to the following:
1. The use of temporary sediment basins, gravel bags, silt fences, geo-bags or gravel and geotextile fabric berms, erosion control blankets, coir rolls, jute net, and straw bales.
 2. Grading shall not occur during the wet season (November 1-April 15) unless erosion control devices acceptable to Public Works Department are implemented.

3. Nonpaved areas shall be revegetated or restored (i.e., geotextile binding fabrics) immediately after grading, to minimize erosion and to reestablish soil structure and fertility. Revegetation shall include drought-resistant, fast-growing, vegetation that would quickly stabilize exposed ground surfaces.
4. Runoff shall not be directed across exposed slopes. All surface runoff shall be conveyed in accordance with the approved site drainage plans.
5. Energy dissipaters shall be installed at the end of drain pipe outlets to minimize erosion during storm events.
6. Drainage channel inlets shall be protected from sediment-laden waters by use of inlet protection devices such as gravel bag barriers, filter fabric fences, block and gravel filters, and excavated inlet sediment traps.
7. Sediment control measures shall be maintained for the duration of the grading period and until graded areas have been stabilized by structures, long-term erosion control measures, or landscaping.
8. Stabilized project site construction entrances shall be installed to prevent sediment from being tracked off of the construction site. Stabilizing measures shall include but not be limited to the use of gravel pads, steel rumble plates, temporary paving, etc. Any sediment or other materials tracked off-site shall be removed the same day as they are deposited, without the use of water washing.
9. During construction, washing of concrete trucks, paint, equipment, or similar activities shall occur only in areas where polluted water and materials can be contained for subsequent removal from the site. Wash water shall not be discharged to the storm drains, street, drainage ditches, creeks, or wetlands. Areas designated for washing functions shall be at least 100 feet from any storm drain, waterbody, or sensitive biological resources. The location(s) of the washout area(s) shall be clearly noted at the construction site with signs.
10. Concrete, asphalt, and seal coat shall be applied during dry weather to prevent storm water contamination during roadwork or pavement construction. Storm drains and manholes within the construction area shall be covered when paving or applying seal coat, slurry, fog seal, etc.
11. Construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. shall be stored, handled, and disposed of in a manner that minimizes the potential for storm water contamination.
12. Dewatering measures shall be implemented to prevent the discharge of sediment-laden water through pre-filtering, treatment, and/or hauling off-site.

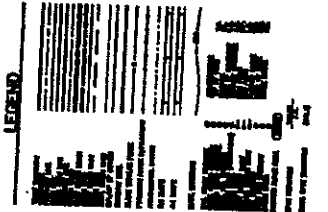
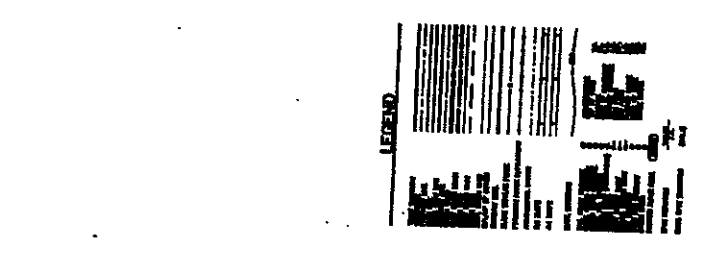
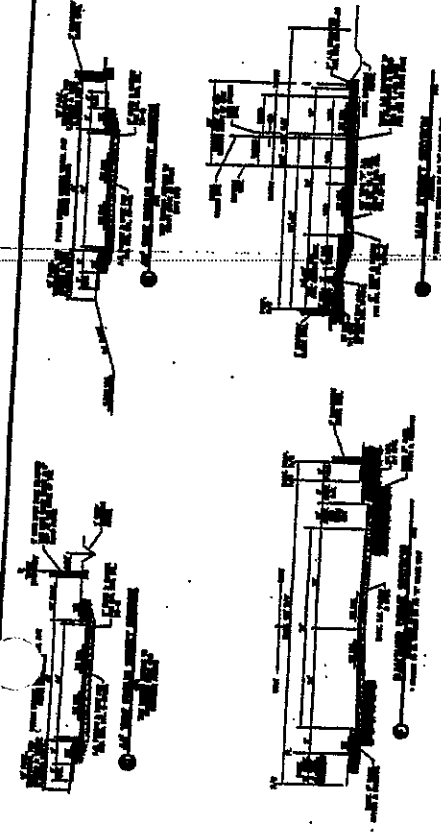
16. **HYDROWQ-4.1** The applicant shall prepare a Storm Water Quality Mitigation Plan (SWQMP) to identify how the project would minimize storm water runoff pollutant transmission into the Santa Maria River to the maximum extent feasible. The SWQMP shall include the following elements: identification of potential pollution sources that may affect the quality of storm water discharges; the proposed design and placement of structural and non-structural BMPs to address identified pollutants; a proposed inspection and maintenance program; and a method for ensuring maintenance of all BMPs over the life of the project. The SWQMP shall also include the following project-specific BMPs.
 - a. Individual lot drainage plans shall include downspout gutters that direct runoff a sufficient distance from the building foundation, but then daylight onto vegetated (i.e., grass or other ground cover) swales capable of allowing low-flows to percolate into pervious surfaces before the stormwater exits the residential lot and enters the adjacent internal street.
 - b. Bioswales shall be constructed as landscaped components of the common open space areas, as well as below the retardation basin (see Mitigation Measure HYDROWQ-1) and shall be designed in accordance with City standard conditions.
 - c. Oil/water separators and/or sediment traps shall be installed at the drop inlet to the retardation basin and/or the storm drain(s) that exit the property, as determined appropriate by Santa Maria Public Works.
 - d. City of Santa Maria Standard Conditions for Project Plan Approval - Water Quality BMPs shall be implemented. Detention or filtration of storm water runoff generated by the design storm shall be required as approved by Public Works staff.
17. **HYDROWQ-4.2** The application of applicant shall prepare a Pesticide, Herbicide, and Fertilizer Maintenance Plan that minimizes their use in common landscape areas (i.e., residence yards) and common areas, particularly during the rainy season shall be minimized. Biodegradable pesticides and herbicides shall be maximized. Grasses not generally susceptible to pest disease, such as Bermuda grass, shall be planted in turf areas. This condition shall be included in the multi-family residential Homeowner's Association CC&Rs.
18. **NOISE-1.1** Construction activity for site preparation and for future development shall be limited to the hours of 7 AM to 6 PM, Monday through Friday, and 8 AM to 5 PM on Saturday. No construction shall occur on State Holidays (e.g., Thanksgiving, Christmas, 4th of July, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities (e.g., painting, landscaping with hand tools, etc.) are not subject to these restrictions.
19. **NOISE-1.2** Stationary construction equipment that generates noise that exceeds 65 dB(A) at the project boundaries shall be shielded with the most modern and effective noise control devices (i.e., mufflers, lagging, and/or motor enclosures to City's satisfaction), and shall be located at a minimum of 200 feet from noise sensitive receptors. All equipment shall be properly maintained to ensure that no additional noise, due to worn or improperly maintained parts, would be generated.

20. **NOISE-1.3** The project applicants shall notify the sensitive noise receptors 48 hours in advance of the commencement of any and all construction activities. The construction manager's (or representative's) telephone number shall also be provided with the notification so that community concerns can be communicated.
21. **NOISE-1.4** Stockpiling and vehicle staging areas shall be located as far as practical from sensitive noise receptors. Every effort shall be made to create the greatest distance between noise sources and sensitive receptors during construction activities.
22. **NOISE-2a** Solid noise barriers (a perimeter wall or a combination berm and wall) shall be required for all noise-sensitive development (e.g., residential units) proposed within approximately 186 feet and 65 feet from the centerline of Main Street and Panther Drive Fremont Street, respectively, to ensure that exterior living spaces shall not be exposed to noise levels over 60 dBA.
23. **NOISE-2b** Homes facing Main Street and Panther Drive Fremont Street frontages shall incorporate solid core doors and double-paned glass windows with other suitable noise-attenuating design to ensure that interior noise exposure are maintained at 45 dB(A) CNEL or below.
24. **TRANS-3.1** The applicant shall prepare an internal circulation access plan identifying site ingress and egress to the commercial lots and residential units. The internal circulation access plan shall identify perimeter road and internal roadway specifications and frontage improvements along Main Street and Panther Drive Fremont Street. All circulation improvements shall be designed according to standards deemed acceptable by the City of Santa Maria.
25. **TRANS-1** The eastbound lane at the Suey Road/Donovan Road intersection shall be restriped to provide one left-turn lane, one through lane, and one through/right-turn lane.
26. **TRANS-2** The eastbound lane at the U.S. 101/Donovan Road interchange shall be restriped to provide one left-turn lane, one through lane, and one through-right lane. The northbound off-ramp lane at the U.S. 101/Donovan Road interchange shall be widened to provide a left-turn lane, a left-through lane, and a right-turn lane.
27. **TRANS-3** The applicant shall pay a "fair share" contribution of transportation fees to the City of Santa Maria to fund future street network improvements to accommodate General Plan buildout.
28. **UTIL-5.1.a** Demolition and/or excess construction materials shall be separated on-site for reuse/recycling or proper disposal. During grading and construction, separate bins for recycling of construction materials shall be provided on-site.

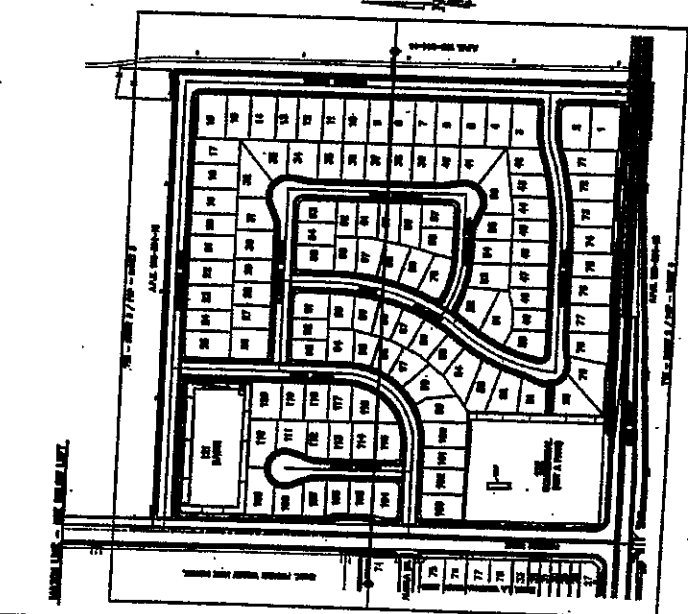
29. **UTIL-5.1.b** Materials with recycled content shall be used in project construction. Chippers on site during construction shall be used to further reduce excess wood for landscaping cover.
30. **UTIL-5.2a** The applicant shall implement a Solid Waste Management Program including the following measures for a 50% reduction in waste generation.
 - a. Provision of space and/or bins for storage of recyclable materials within the project site. All garbage and recycle bin storage space shall be enclosed and plans should show equal area availability for both garbage and recycle bins within storage spaces.
 - b. Establish a recyclable material pick-up area for commercial buildings.
 - c. Participate in a curb-side recycling and green waste recycling program to serve the new development.
 - d. Develop a plan for accessible collection of materials on a regular basis.
 - e. Develop source reduction measures which indicate method and amount of expected reduction.
 - f. Implementation of a program to purchase materials that have recycled content for project construction and operation (i.e., lumber, plastic, office supplies).
 - g. Regular composting of lawn clippings and other landscape materials.
 - h. Provisions for composting bins for storage of landscape materials within the project site.

EASTRIDGE
REGISTERED SERVICE MARK, LLC

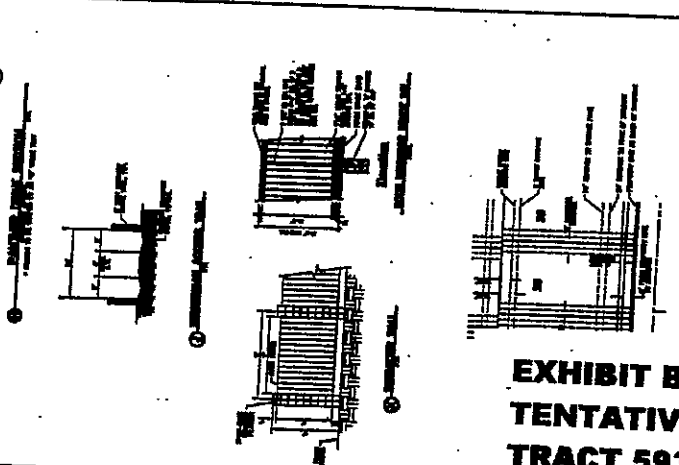
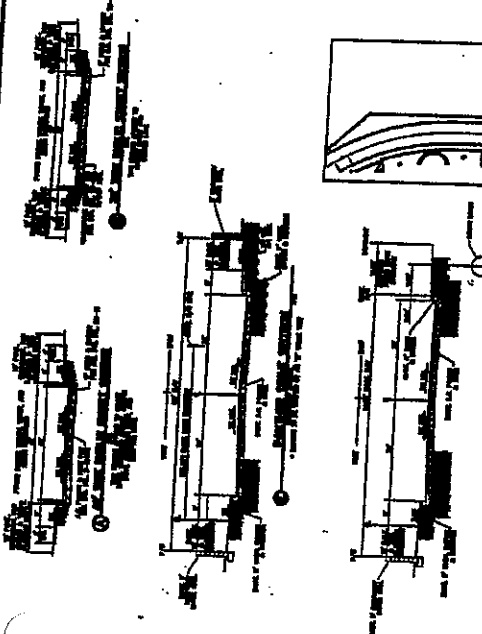
GENERAL NOTES:
1. THIS TENTATIVE TRACT MAP IS PREPARED IN ACCORDANCE WITH THE SUBDIVISION MAP ACT, CHAPTER 664, CALIFORNIA STATUTES.
2. THE TRACTS SHOWN ON THIS MAP ARE SUBJECT TO ALL APPLICABLE ZONING ORDINANCES AND REGULATIONS.
3. THE TRACTS SHOWN ON THIS MAP ARE SUBJECT TO ALL APPLICABLE EASEMENTS AND ENCUMBRANCES.
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LEGEND
EASEMENT
UTILITY
SETBACK

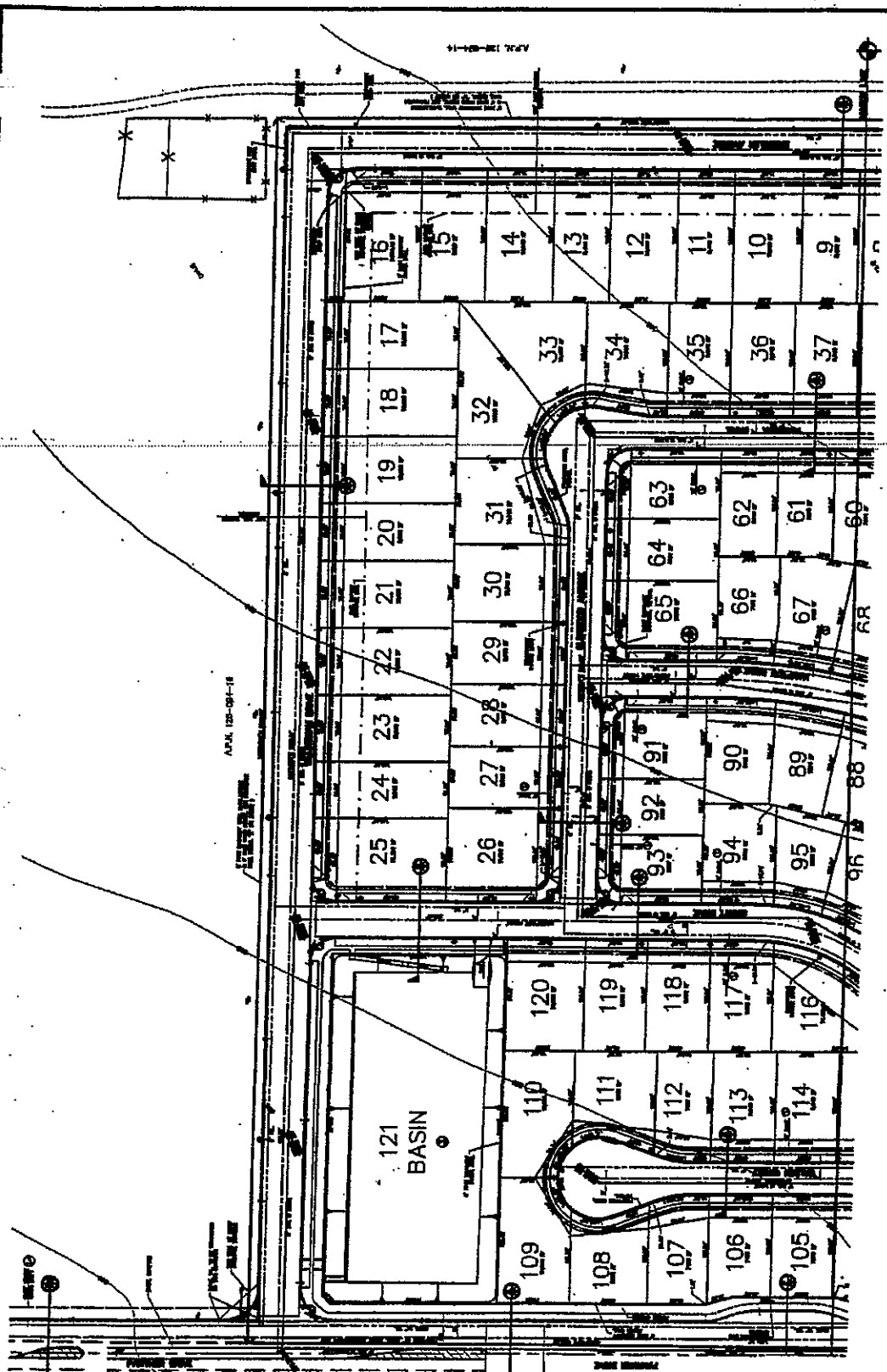


PROJECT MAP
SCALE: 1" = 100'



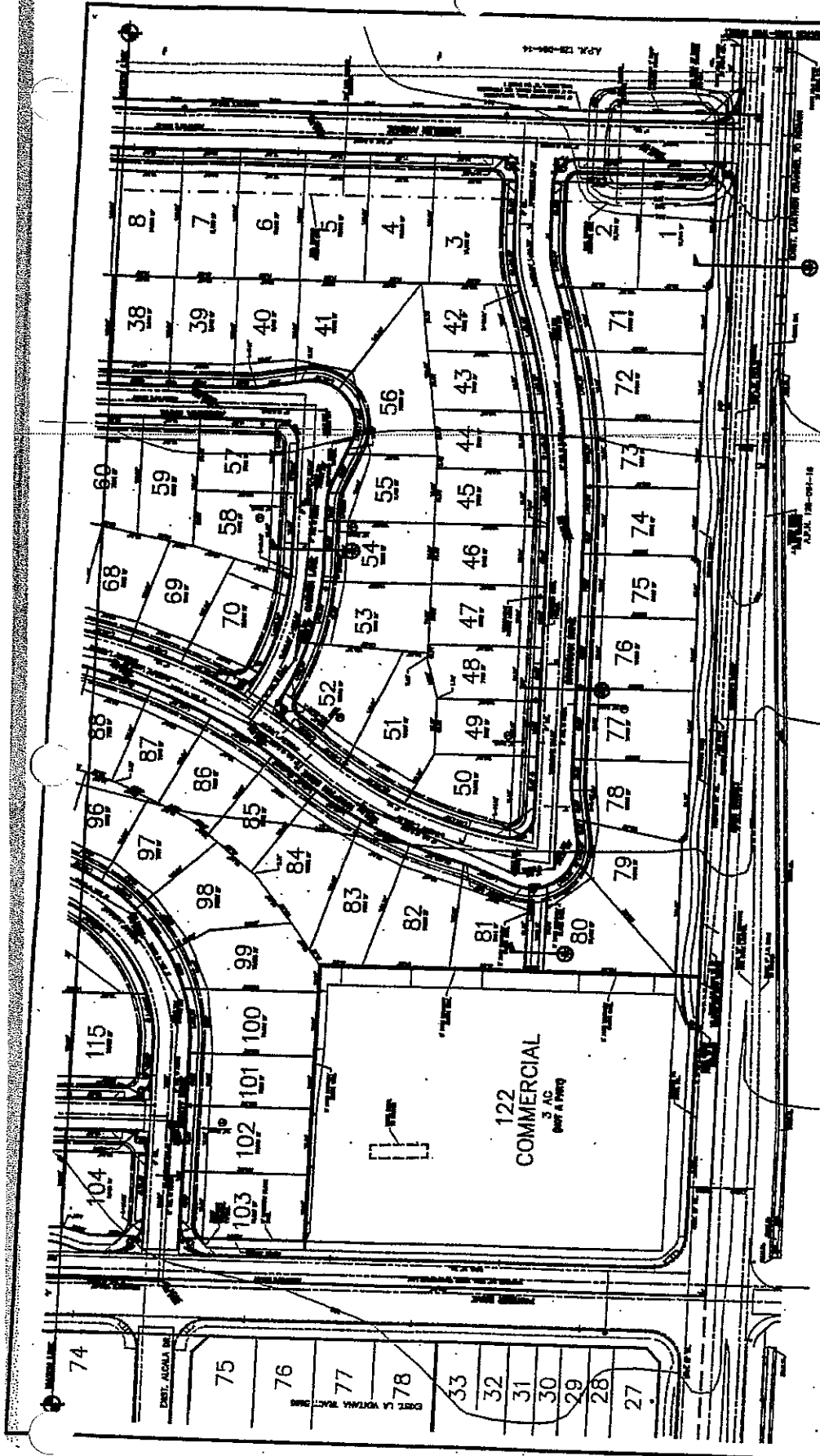
AVENUE W/DR. SETBACKS

EXHIBIT B
TENTATIVE TRACT MAP
TRACT 5939
NOVEMBER 2, 2007
1 OF 3



TENTATIVE TRACT MAP NO. 5939
EASTRIDGE
 UCC
 WESTFIELD
 COUNTY OF
 SAN JOAQUIN

EXHIBIT B
TENTATIVE TRACT MAP
TRACT 5939
NOVEMBER 2, 2007
2 OF 3



TENTATIVE TRACT MAP 5939
EASTRIDGE
 LDC
 BENTLEY
 ENGINEERS
 ARCHITECTS
 PLANNERS

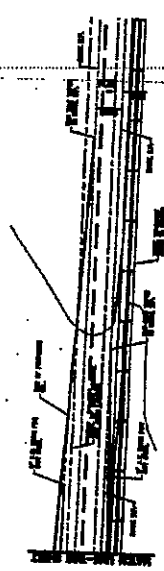
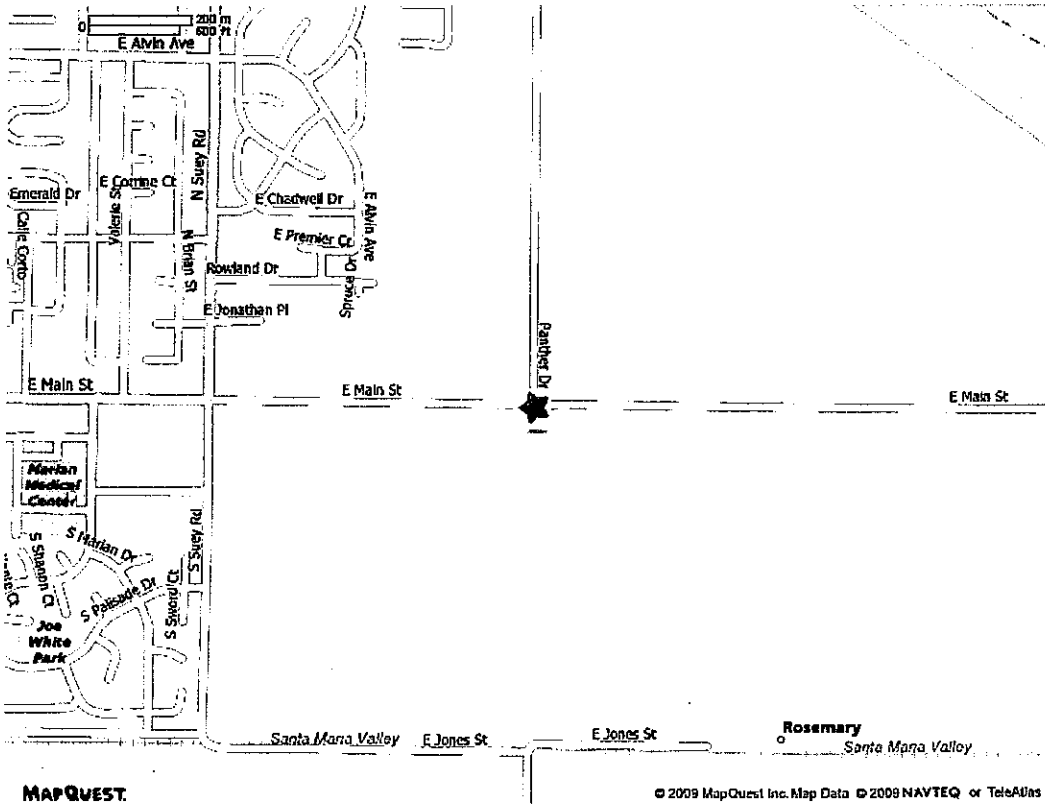


EXHIBIT B
TENTATIVE TRACT MAP
TRACT 5939
NOVEMBER 2, 2007
3 OF 3



Sorry! When printing directly from the browser your directions or map may not print correctly. For best results, try clicking the Printer-Friendly button.

★ E Main St & Panther Dr
Santa Maria, CA 93454



MAPQUEST.

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PLANNING COMMISSION STAFF REPORT
City of Santa Maria

November 2, 2007

TO: Planning Commission
FROM: Community Development Department
By: Bill Scott, Planner III

SUBJECT: ~~EAST RIDGE ESTATES, TRACT 5939, LOCATED AT THE NORTHEAST CORNER OF EAST MAIN STREET AND PANTHER DRIVE (FORMERLY KNOWN AS FREMONT STREET)~~

RECOMMENDATION:

That the Planning Commission take the following actions:

1. By resolution, approve the tentative map, Tract 5939, for East Ridge Estates subject to the following:
 1. The design as shown on the Official Tentative Map.
 2. The conditions set forth in the July 10, 2007, Subdivision Committee Minutes, as last revised on November 2, 2007 and;
 3. Incorporation of the East Ridge Design Guidelines dated October 18, 2007.

PROJECT DESCRIPTION:

The proposed project is a tentative map that subdivides the 39.5 acre parcel(s) designated as Assessor's Parcel Number(s) 128-052-042 -043 into one hundred twenty-two (122) lots. The proposed East Ridge residential subdivision consists of one hundred and twenty (120) lots designated for single-family detached residential purposes and one (1) common lot would contain an on-site retention basin and landscaping. A remainder lot (Lot 122) is not a part of the East Ridge development proposal and would remain vacant to accommodate a future commercial/residential mixed-use development.

BACKGROUND:

All of the required materials and filing fees have been received. The date of acceptance of the tentative subdivision map application, as a complete application, was October 22, 2007. Exhibit A is a vicinity map and Exhibit B is a reduced copy of the tentative tract map.

On December 1, 2006 the City Council approved a General Plan amendment and zone change, GPZ-2005-003 that changed the General Plan land use designation from Secondary Agricultural Open Space (AOS-II) to Lower Density Residential (LWDR-5) on 35.2 acres; and Community Commercial (CC) on 3.0 acres. The Council action changed the zoning on the property from Open Space (OS) to R-1 (Single Family Residential) on 35.2 acres and PD/C-2 (Planned Development/General Commercial) on 3.0 acres to facilitate the proposed East Ridge Estates residential subdivision (formerly known as La Ventana II).

During the General Plan and zone change review process, the Planning Commission gave direction that the resulting residential subdivision should contain two specific components:

- 1) A variety of larger lot sizes including a lot mix consisting of a minimum of twenty percent (20%) of the lots being between 6,000 and 8,000 square feet, a minimum of forty percent (40%) of the lots between 8,000 and 10,000 square feet, and a minimum of forty percent (40%) of the lots being more than 10,000 square feet in size; and,
- 2) A preferred project alternative provided a site design with a generally curvilinear street grid.

During the August 2, 2007 and September 20, 2007 Study Sessions, the Planning Commission expressed a general consensus of support for the street alignments, as shown on the current preliminary Tract 5939 (Exhibit B). The lot size and mix ratios in the East Ridge development proposal meet or exceed the lot size ratios as directed by the Planning Commission (Lot Mix Table-Exhibit B).

As a general rule most contemporary residential subdivisions are typically developed under the Planned Development (PD) overlay. The PD overlay allows the subdivider a maximum degree of design flexibility in terms of lot sizes and building placement (setbacks). Since the PD overlay has not been applied to the residential lands within the East Ridge Estates development proposal, development within East Ridge Estates must adhere to the strict "letter" of the minimum development standards of the R-1 (Single Family Residential) zoning district.

Without the availability of the design review process provided by the PD overlay, General Plan and zone change, GPZ-2005-003 included a condition that required Design Review Guidelines to be prepared by the subdivider to address building architecture, colors and materials of the houses, and landscaping standards. The final draft of the East Ridge Design Guidelines is attached to the Resolution (Exhibit C) for concurrent adoption with Tract 5939, and the East Ridge Design Guidelines are hereby incorporated as a condition of approval of Tract 5939.

The environmental impacts of the project were analyzed in the Final Environmental Impact Report (FEIR), with the addendum E-2005-027 (SCH 200510112), prepared for the General Plan amendment and zone change GPZ 2005-003 (formerly known as La Ventana II). The

Therefore, no further environmental review is required. The mitigation measures contained in the EIR and the Addendum (GPZ-2005-003, E-2005-027), apply to this project. The mitigation measures are included at the end of this report and are hereby made conditions of approval of Tract 5939.

OWNER/SUBDIVIDER

Templeton Santa Barbara, LLC
Will Tucker
P. O. Box 8522
Santa Maria CA, 93455

SURVEYOR

Bethel Engineering
2624 Airpark Drive
Santa Maria CA 93455

EXHIBITS

Exhibit A – Vicinity Map
Exhibit B – Tentative Map
Exhibit C – Final Draft East Ridge Design Guidelines



**SUBDIVISION COMMITTEE MINUTES
CITY OF SANTA MARIA
July 10, 2007 Subdivision Committee (Revised November 2, 2007)**

I. GENERAL INFORMATION

- A. Name of Development: East Ridge Estates, Tract 5939
- B. Name of Subdivider: Templeton Santa Barbara, LLC
- C. Acreage: 39.5
- D. Number of Lots: One Hundred twenty (120) Residential Lots, one (1) retention basin lot, and one (1) lot for future residential/commercial mixed use development

Property Description: Northeasterly quadrant of East Main Street and Panther Drive

Assessor Parcel No(s): 128-052-042, -043 **Acreage:** 39.5

Zoning: R-1 (Single-family residential) and PD/C-2 (Planned Development/General Commercial)

Land Use Designation:LWDR-5 (Lower Density Residential 5-units per acre) and CC (Convenience Center)

Streets: Public Streets **Retardation:** On-site

#Lots: <u>120</u>	Type: <u>Residential</u>	Size: <u>6,834 square feet to 12,576 square feet</u>
Lot: <u>1</u>	Type: <u>Retention Basin</u>	Size: <u>1.53 acre</u>
Lot: <u>1</u>	Type: <u>Future Commercial</u>	Size: <u>3.0 acres</u>

II. SUBDIVISION COMMITTEE RECOMMENDATIONS

The Subdivision Committee recommends to the Planning Commission that the tentative map be approved subject to the design as shown on the Official Tentative Map and the following conditions:

- A. The recommendations of the Public Works Department, Engineering Division incorporated herein in the form of memorandums dated June 21, 2007 and October 29, 2007, designated as Attachment A1 and A2.
- B. The recommendations of the Recreation and Parks Department, incorporated herein in the form of a memorandum dated October 10, 2007, and designated as Attachment B.
- C. The recommendations of the Fire Department, incorporated herein in the form of a memorandum dated October 10, 2007, and designated as Attachment C.
- D. The recommendations of the County of Santa Barbara County Fire Department, incorporated herein in the form of a letter dated September 4, 2007, and designated as Attachment D.

- E. The recommendations of the Community Development Department, incorporated herein in the form of a memorandum dated July 10, 2007, last Revised November 2, 2007 and designated as Attachment E.

III. ATTENDANCE AT MEETING

Staff: P. Woods, J. Owens, B. Scott, P. Ellis, S. Springer, R. Old, B. James

Planning Commissioner: T. Lopez

Parks and Recreation Commissioner: H. Grennan

County: G. Rondash

Applicant: L. Tamura, R. Garrison, J. Gibson, S. Gonzalez

MEMORANDUM

DEPARTMENT OF PUBLIC WORKS
ENGINEERING DIVISION

June 21, 2007

RECEIVED

JUN 21 2007

TO: Bill Scott, Planner II

FROM: Austin O'Dell, Transit Services Manager

COMMUNITY DEVELOPMENT DEPT.
DV.

SUBJECT: **COMMENTS TO EASTRIDGE TRACK 5939**

There are two approaches. The traditional approach reflects public transportation serving along the perimeter of the development and requires passengers to walk the public transportation facilities. The transit oriented development approach reflects public transportation serving in the development.

Below are Santa Maria Area Transit's comments for the traditional approach:

1. **Bus Turn Out.** Install a bus turnout at Panther Lane at Station to accommodate a 40' public transportation coach.
2. **Pedestrian Access.** Recommend a pedestrian path between Doheny Avenue and Panther Lane to provide convenient access to the public transportation facilities.
3. **Bus Passenger Amenities.** Developer should provide the cost for future installation of a bus shelter, bench, and trash receptacle at new the bus stop Santa Maria Way.

Below are Santa Maria Transit's comments for the reflecting more of the transit oriented development approach:

1. **Mini Bus Hub.** Install a bus hub like facility at Station Drive and Glenwood Avenue. This concept is distinguishable from a bus stop as the mini-hub will integrate into the development. This hub should include: shelter, bench, trash receptacle, bus information kiosk. This facility should accommodate a 40' public transportation coach.
2. **Pedestrian Access.** Recommend a pedestrian path between Doheny Avenue and Station Drive to provide convenient access to the public transportation facilities.

Either approach would be acceptable. Thank you for the opportunity to comment.

MEMORANDUM

**DEPARTMENT OF PUBLIC WORK
ENGINEERING DIVISION**

October 29, 2007

TO: Subdivision Committee
FROM: Shad S. Springer, P.E., Principal Civil Engineer
SUBJECT: **EASTRIDGE TENTATIVE MAP TRACT 5939**

Tract 5939 is a subdivision of Assessor's Parcel Number 128-052-042 and 43 into 120 single-family residential lots, and one lot for retardation basin purposes, and one 3 acre remainder parcel.)

The 39.6 acre property is generally located at the northeast corner of East Main Street and Panther Drive.

The Public Works Department's recommendations for approval of this subdivision are as follows:

STREETS

1. Improvements adjacent to Tract 5939 will be required. All improvements will be constructed per Santa Maria City Standards, and will be approved by the City Engineer.

If a parcel map is filed, per Sec. 66411.1 of the Subdivision Map Act, a notice by statement will be required to appear on recordable parcel map. Said statement shall indicate at time of development of any parcel, improvements adjacent to Tract 5939 will be required per Santa Maria City Standards to be approved by the City Engineer.

Improvements required of developing parcel will include street paving, curb, gutter, street lights, sidewalks, landscaping, and the required utilities.

Median improvements will include power, water service, and landscaping to be provided by the subdivider.

Improvements required adjacent to non-developing parcel will include full travel lane width with asphalt concrete berm to facilitate street drainage.

2. All conditions for the general plan zone change GPZ 2005-003 La Ventana II will apply to this subdivision, and are hereby incorporated into these conditions per this reference.
3. All underground improvements required for development of parcels within Tract 5939 shall be installed prior to street paving.
4. Street light layout shall conform to the City of Santa Maria Street Lighting General Plan.

EAST RIDGE ESTATES, TRACT 5939, ATTACHMENT A2, PAGE 1 OF 7

5. Sight distance requirements shall be maintained at the intersection of any street, alley or driveway improved for vehicular traffic per S.M.M.C. Sections 12-27.02, 12-27.02 and Public Works Department standards. Revisions to the wall heights and locations shown on the tentative map may be required to achieve acceptable sight distance.
6. The following public improvements will be required as a condition of tract map recordation for Tract 5939:
 - a. Construct Main Street to the ultimate width along the project frontage with full frontage improvements. The full deceleration taper for westbound Main Street shall be constructed as shown on the tentative map.
 - b. Developer shall construct Dressler Avenue and Willingham Drive per City Collector standards.
 - c. Install City standard knuckle at the intersection of Willingham Drive and Dressler Avenue. This condition requires acquisition of right-of-way that is not owned by the City or the applicant. If applicant is not able to reasonably acquire the right-of-way, then the Director of Public Works may waive this condition.
 - d. All detached sidewalks shall be constructed at City standard width of 5' unless otherwise approved by the City Engineer.
 - e. Traffic signs at the intersections of Willingham Drive at Panther Drive and Siratt Drive at Panther Drive to prohibit left turn movements from the subdivision, Monday through Friday, between the hours of 7:00 A.M. and 9:00 A.M.
 - f. A two-way push-button pedestrian flasher and necessary related striping and signage for the crossing at the north leg of Panther Drive at the intersection of Siratt Drive.

WATER

1. Fire hydrants shall be installed at the terminus of all cul-de-sacs, and at minimum 350' intervals along all commercial/industrial/multi-family streets and 400' intervals along residential public streets. 1,000' maximum spacing is allowed on collectors or arterial streets where there will be no residential or commercial frontage.
2. The subdivider shall install water service to each lot of the tentative map at a size appropriate for proposed use including to the retardation basins, open space lots and landscaped areas. In a residential subdivision, the minimum size shall be one-inch (1") service.
3. The developer shall install a 24" water transmission line from the far southern end of the site to the far northern end along an alignment acceptable to the City Utilities Department. The actual cost incurred by the Developer shall be reimbursed by the

City through either fee credits, or reimbursement through a development agreement.

SEWER

1. The subdivider shall install sewer laterals to each buildable lot of the tentative map at a size appropriate for proposed use. The minimum size shall be four-inch (4").
2. For maintenance purposes, straight grades between manholes shall be provided unless otherwise approved by the City Engineer. Curved lines that follow the centerline of road will be allowed if it would take an excessive number of manholes to achieve straight alignment.
3. The applicant shall perform a sewer study to determine the required sewer infrastructure that would be needed in order to service the remaining property bounded on the west by Panther Drive, on the south by Main Street, and on the north and east by the City Landfill property.

STORM DRAINAGE

1. Flood hazard areas, based on one-hundred-year storm frequency, shall be delineated (on tentative map) based on approved flood control district methodology and, if applicable, included in an inundation easement and offered for dedication to the district. Buildable sites, as designated in the soils report (see Section 11-3.08), shall be located outside of flood hazard areas. Drainage requirements of the Santa Barbara County Flood Control and Water Conservation District Standards also apply.
2. An on-site grading plan incorporating a retarding basin with discharge to a public facility will be required upon development in accordance with Public Works and Community Development requirements.
3. The retardation basin shall be fully constructed in accordance with approved plans prior to occupancy of parcels within Tract 5939.
4. Storm drain improvements will require review by the Santa Barbara County Flood Control District and review and approval by the City of Santa Maria Public Works Department.
5. Calculations demonstrating that the proposed retardation basin and street drainage system are adequate shall be submitted to the City of Santa Maria and the Santa Barbara County Flood Control District for review and approval prior to approval of the public improvement plans or grading plans for Tract 5939.
6. The drainage structure shall be designed to allow low flow nuisance water to bypass the retardation basin.
7. The funding arrangement for the perpetual maintenance of the retarding basin shall be submitted to the City for review and approval. Any maintenance agreement required for said funding arrangement shall be recorded simultaneous with the recordation of the final map. A copy of the recorded document shall be submitted to the City.

PUBLIC UTILITIES

1. All new public utilities shall be underground to comply with the Municipal Code, Section 9-2.09.
2. All existing on-site public utilities shall be placed underground as a condition of Tract 5939 [S.M.M.C. Sections 11-8.04(g) and 9-2.09.]
3. Streetlights shall be operational prior to occupancy of any parcel within Tract 5939.
4. At time of Public Improvement Plan review, plans shall be submitted to Pacific Gas and Electric (P.G. & E.), Verizon, Cable TV and The Gas Company for review. Comments from the utilities regarding transformer locations, etc., shall be forwarded to Public Works Department for review and approval.

EASEMENTS

1. A minimum 10' Public Utility, Cable TV, and Telephone easement shall be dedicated adjacent to all street right-of-way. In commercial and industrial subdivisions, the utilities may require a 15' easement dedication.
2. Dedicate pedestrian access and traffic control device easements at all intersections. The easement shall follow the Public Utility Easement from curb return to curb return.
3. Dedicate pedestrian access easements to the back of meandering sidewalk.
4. A minimum 10' tree planting and maintenance easement shall be dedicated adjacent to all public street right-of-way or as directed by the City Recreation and Parks Department.
5. Retardation basins shall be dedicated on the final map as reciprocal drainage easements.
6. All existing easements to be abandoned by separate document will require the applicant to provide legal descriptions, sketches (8-1/2 x 11 City Standard format), closure calculations, and payment of current Public Works Department Fees for processing through the City. All paperwork shall be in an approved form and processed through Planning Commission and City Council prior to issuance of building permits. The abandonment shall be recorded prior to occupancy.
7. All easements to be abandoned by the map [Government Code Section 66434(g) and 66499.20 1/2] shall be clearly identified as such with City-approved notation on the tentative and final map.

SOILS

1. A preliminary soils report, prepared by a civil engineer registered in this state, and based upon adequate test borings, shall be required and submitted to Public Works Department prior to filing of the final map to comply with Government Code 66490 (Subdivision Map Act).
2. A soils analysis will be required for the determination of street structural sections.

3. Soil borings in the area of the retardation basin will be required prior to development of the basin. A minimum of two borings shall be analyzed to a depth of 15' +/- beyond the proposed final basin floor elevation. Additional borings will be required if analysis is inconclusive with respect to permeability.

Additional measures for percolation may be required at development of basin if analysis indicates the permeability is inadequate.

INDEMNITY

1. Pursuant to Government Code §66474.9(b), the subdivider shall defend, indemnify and hold harmless the City and/or its agents, officers and employees from any claim, action or proceeding against the City and/or its agents, officers or employees to attack, set aside, void or annul, the approval by the City of this subdivision, Tract [insert tract number], and all actions relating thereto, including but not limited to environmental review, and action taken pursuant to §66462.5 of the Subdivision Map Act.

FEES

NOTE: The fees given at this time are an estimate calculated using rates currently in effect. The actual amount due shall be calculated using fee rates in effect at the time of payment.

1. Map Checking - \$4,814.80 for greater than 10 lots (Fiscal Year 2007-2008 fee rate). The rate changes each July in accordance with City Council Resolution 90-50). This fee will be collected prior to approval of the plans.
2. Public Improvement Plancheck Fee:
Based on approved estimated cost of public improvements or on a proposal submitted by a consultant assigned to review the project plans. The fee shall be collected prior to review of the plans.
3. Public Improvement Inspection Fee:
Based on approved estimated cost of public improvements. The fee shall be collected prior to issuance of a public encroachment permit or approval by the City Council of the project final map, whichever comes first.
4. Traffic Mitigation Fee:
The fee shall be based on the codes and rates in effect at the time of building permit issuance.
5. Water Mitigation Fee:
The fee shall be based on the codes and rates in effect at the time of building permit issuance.
6. Wastewater Mitigation Fee:
The fee shall be based on the codes and rates in effect at the time of building permit issuance.

7. **State Water Reimbursement Fee:**

The fee shall be based on the codes and rates in effect at the time of building permit issuance.

8. **Landscape & Lighting Maintenance District:**

If decorative streetlights are installed within the subject site, the property owners shall be responsible for the increased maintenance and electricity cost associated with these lights. Prior to tract map recordation, a 100% property owner petition shall be submitted to the City requesting annexation into the Landscape & Lighting Maintenance District and the associated street light maintenance/electricity costs shall be included in the assessment. These costs are currently estimated at \$20 per lot, per year.

BONDS/SURETY

1. Faithful Performance – 100% of the approved estimated cost of all public improvements.
2. Labor & Materials – 50% of the approved cost estimate.
3. One Year Guarantee – 10% of the approved cost estimate.
4. Monumentation – Amount set by the developer's engineer and approved by the Public Works Department or the monuments are to be set and accepted by the City prior to recordation of the final map.
5. Subdivision Tax Bond – A bond for property taxes is required by the Santa Barbara County Treasurer-Tax Collector for property being subdivided in the county. This bond must be in place before the County will allow the recordation of the final map. In order to not delay the recordation of the final map it is suggested that the applicant apply for and process a "Subdivision Tax Bond Request" from the Santa Barbara County Treasurer-Tax Collector at the same time the map is submitted to the City of Santa Maria for plan check. The Santa Barbara County Treasurer-Tax Collector can be contacted at: 105 East Anapamu Street, Santa Barbara, CA (805) 568-2933.

COMMENTS

1. An up-to-date preliminary title report will be required prior to the filing of the final map.
2. Public improvement plans prepared by a registered civil engineer and approved by the Public Works Department will be required. Improvement plans shall include surface improvements plan and profile, underground improvements plan and profile, and signing and striping plans for all arterial streets.
3. Should at a later date, construction of public improvements be proposed to be phased, additional review and conditioning will be required.

4. The Public Improvement Plan submittal shall include landscaping and irrigation plans for any area of Public R.O.W. where landscaping is required (such as medians) and/or landscaping is to be maintained by a City landscape maintenance district. The Engineer shall submit four (4) prints of the landscaping and irrigation plans to the Public Works Department for checking purposes (1 set for Community Development and 2 sets for Parks and Recreation). The landscape plans, when approved, shall be submitted to Public Works Department as reproducible Mylar prints.
5. The developer shall be responsible during construction for cleaning city streets, curbs, gutters and sidewalks of dirt tracked from the subject site. The flushing of dirt and debris to storm drain or sanitary sewer facilities shall not be permitted. The cleaning shall be done after each day's work or as directed by the Director of Public Works or the Community Development Director.
6. All required improvements shall be designed and constructed in accordance with the City of Santa Maria Standard Specifications and Drawings.
7. Except as modified by other conditions of approval of this project, the following documents, submitted in connection with the application for this project and retained in Engineering Division File East Ridge Tract 5939, are hereby incorporated by reference as conditions of this project:

Tentative Map received October 9, 2007.

L05/s:/DED/ConditionMemos/Templates/tsubcomm.doc

✓ October 10, 2007

MEMO TO: Bill Scott, Community Development Department

FROM: Patty Ellis, Recreation and Parks Department

**SUBJECT: EAST RIDGE TRACT 5939 (REVISED)
NORTHEAST CORNER OF EAST MAIN STREET AND PANTHER LANE**

The following are the Recreation and Parks Department's requirements for the above-referenced project.

MUNICIPAL CODE REQUIREMENTS:

- a. (18) trees shall be required on Panther, (20) trees on Willingham, (16) on Dressler, (22) on Main Street, (12) on Walden, (27) on Siratt, (13) on Glenwood, nine (9) on Camden, (15) on Augusta, (21) on Savannah, and (25) on Hampton. Species shall be chosen from the attached Approved Tree List.
- b. Trees shall be 24" box in size and planted by the developer in accordance with the plans and specifications of the Recreation and Parks Department. Street trees are required along all public street frontages at approximately 30 - 40 feet on center.
- c. Street tree bonding shall be for 198 surface/parkway plantings at \$250 each. Total is \$49,500.00.
- d. Street tree requirement and bond/deposit amount are a maximum subject to change pending final public improvement locations and final development/landscape plans.
- e. Minimum caliper for a 24" box tree is 1.5 inches.
- f. No more than 15% of one species shall be planted on each street for diversity of species and with respect to longevity and good health.
- g. A minimum 10 foot wide tree planting easement is required to be dedicated to the City to allow adequate space for the planting and maintenance of street trees. The applicant shall submit a recent copy of an appropriate policy of title insurance, together with legal descriptions, closure calculations and sketch to the Engineering Division of the Public Works Department with applicable fees so that staff may proceed with the preparation of the legal documents. An irrigation system must also be provided.
- h. Street trees planted within the 10 foot easement area must be located a minimum of six feet behind the sidewalk.
- i. The street tree planting easement shall be clearly identified on the planting and irrigation plans. Only those trees that will serve as street trees shall be planted in the easement area. All other on-site private tree plantings shall be planted behind the easement area.

- j. The following shall be noted on the landscape plan: "The final locations of street trees shall be determined on-site by the Parks and Forest Supervisor. Twenty-four hour notice is required for inspection prior to planting, (805) 925-0951 ext. 249. Installation shall be in accordance with Recreation and Parks Department specifications."
- k. Street trees shall be contained in a designated tree planting space that is a minimum of eight feet square and is free of all utilities.
- l. Any nursery stock planted without inspection and approval shall be deemed defective and shall be removed by the person or persons responsible for the planting at their own expense.
- m. Final grade between wall and sidewalk for all public easement areas shall be shown on landscape plans. This grade shall not exceed 5:1 without prior Recreation and Parks Department approval. Retaining walls shall be required if grade exceeds 5:1.
- n. Prior to issuance of a Building Permit, a landscape plan is required that designates all street trees. Planting locations, species and planting method must be indicated.
- o. In proposed public easement areas, the Developer shall be responsible for the upkeep of the landscaping and irrigation for a maintenance period that may extend one year following acceptance of the installation. Several inspections shall be made throughout the maintenance period. The area proposed for District maintenance is expected to remain weed and litter free, plant material is expected to be healthy and replaced if necessary and the irrigation system shall function as designed.
- p. AB 1600 Park Mitigation Fee (Santa Maria Municipal Code, Title 8, Chapter 15) imposes a fee of \$3,619 per square foot for single family dwelling units. This fee shall be paid upon occupancy. Residential Development Tax (Santa Maria Municipal Code, Section 3-7.03) imposes a fee of \$185 per dwelling unit. This fee shall be paid at time of building permit issuance. Note: Fees are reviewed annually and are subject to change.
- q. This project shall be included in the Northeast Landscape Maintenance District and the La Ventana Special Benefit Zone. Development of the property shall be in accordance with the design standards established for the District. **No certificate of occupancy (temporary or permanent) shall be allowed until the "Petition Requesting Annexation" form has been signed, notarized and returned to the Recreation and Parks Department.**

**CITY OF SANTA MARIA RECREATION AND PARKS DEPARTMENT
APPROVED TREE LIST**

SPECIES	COMMON NAME	PLANTING AREA
<i>Albizia julibrissin</i> ☼	Mimosa	Small
<i>Archontophoenix cunninghamiana</i> ☼	King Palm	Small
<i>Arecastrum romanzoffianum</i> ☼	Queen Palm	Small
<i>Callistemon citrinus</i>	Lemon bottlebrush	Small
<i>C. viminalis</i>	Weeping Bottlebrush	Small
<i>Cercis occidentalis</i> ☼	Western Redbud	Small
<i>Lagerstroemia indica</i> "Zuni" or "Pecos" ☼	Crepe Myrtle	Small
<i>Lyonothamnus floribundus</i>	Catalina Ironwood	Small (Good Drainage)
<i>Trachycarpus fortunei</i> ☼	Windmill Palm	Small
<i>Chionanthus retusus</i>	Chinese Fringe	Small – Medium
<i>Magnolia soulangiana</i> ☼	Saucer Magnolia	Small – Medium
<i>Pistacia chinensis</i> ☼	Chinese Pistache	Small – Medium
<i>Pyrus sp.</i> ☼	Pear	Small – Medium
<i>Pyrus kawakamii</i> ☼	Evergreen Pear	Small – Medium
<i>Tabebuia chrysantha</i>	Golden Trumpet	Small – Medium
<i>Acer macrophyllum</i>	Big Leaf Maple	Medium
<i>A. nigrum</i>	Black Leaf Maple	Medium
<i>Arbutus marina</i> ☼	No Common Name	Medium
<i>A. unedo</i> ☼	Strawberry Tree	Medium
<i>Bauhinia purpurea</i> ☼	Purple Orchid Tree	Medium
<i>Betula alba</i>	White Birch	Medium
<i>Casuarina stricta</i>	Drooping She-Oak	Medium
<i>Geijera parviflora</i>	Australian Willow	Medium
<i>Gingko biloba</i> , "Autumn Gold" ☼	Gingko or Maidenhair	Medium
<i>Gleditsia triacanthos</i>	Honey Locust	Medium
<i>Hymenosporum flavum</i>	Sweet Shade	Medium
<i>Jacaranda acutifolia</i> ☼	Jacaranda	Medium
<i>Koelreuteria paniculata</i> ☼	Goldenrain	Medium
<i>Liriodendron tulipifera</i>	Tulip Tree	Medium
<i>Melaleuca quinquenervia</i>	Cajeput Tree	Medium
<i>Rhus lancea</i> ☼	African Sumac	Medium
<i>Sapium sebiferum</i> ☼	Chinese Tallow	Medium
<i>Tabebuia heterophylla</i>	Pink Trumpet Tree	Medium
<i>Tristania conferta</i>	Brisbane Box	Medium
<i>Washingtonia robusta</i> ☼	Mexican Fan Palm	Medium
<i>Podocarpus sp.</i> ☼	Fern Pine	Medium – Large
<i>Sophora japonica</i>	Japanese Pagoda Tree	Medium – Large
<i>Zelkova serrata</i>	Sawleaf Zelkova	Medium – Large
<i>Acer saccharinum</i>	Sugar Maple	Large
<i>Koelreuteria bipinnata</i> ☼	Chinese Flame	Large
<i>Metasequoia glyptostroboides</i>	Dawn Redwood	Large
<i>Metrosideros excelsus</i>	New Zealand Christmas	Large
<i>Platanus orientalis</i> "Bloodgood"	London Plane	Large

**CITY OF SANTA MARIA RECREATION AND PARKS DEPARTMENT
APPROVED TREE LIST**

SPECIES	COMMON NAME	PLANTING AREA
Quercus sp.	Oak	Large – Open Space
Q. agrifolia	Coastal Live Oak	Large – Open Space
Q. coccinea	Scarlet Oak	Large – Open Space
Q. engelmannii	Engelmann Oak	Large – Open Space
Q. ilex	Holly Oak	Large – Open Space
Q. suber	Cork Oak	Large – Open Space
Schinus molle	Pepper Tree	Large – Open Space
Alnus rhombifolia	White Alder	Open Space
Araucaria heterophylla	Norfolk Island Pine	Open Space
Calocedrus decurrens	Incense Cedar	Open space
Cedrus deodara	Deodar Cedar	Open Space
Cinnamomum camphora ☼	Camphor	Open Space
Platanus racemosa	Sycamore	Open Space
Sequoia sempervirens ☼	Coast Redwood	Open Space

*Planting Area	Definition	*Planting Area	Definition
Small	Less than 5'	Medium	Between 5' and 10'
Large	More than 10'	Open Space	More than 16'

☼ Indicates allergy free species per "Allergy Free Living" by Scott Seargeant

No more than 15% of one species shall be planted on each street for diversity of species and with respect to longevity and good health. Individual streets may have up to 25% of a particular species, although the overall project must not exceed 15% unless approved by the Recreation and Parks Department. The Park Services Manager must approve alternative species. A 24-hour notice is required to inspect plant material, prior to planting, and for species, locations and final inspections. Installations shall be in accordance with Recreation and Parks Department specifications. You may contact the Parks and Forest Supervisor at (805) 925-0951 ext. 249 with any questions and for inspections.

**SANTA MARIA FIRE DEPARTMENT
CONDITIONAL USE PERMIT/PLANNED DEVELOPMENT
PERMIT STANDARD CONDITIONS**

TO: COMMUNITY DEVELOPMENT DEPARTMENT
FROM: JACK OWEN, JR., BATTALION CHIEF/FIRE MARSHAL
PREPARED BY: JOE R. JOHNSON, FIRE PREVENTION AIDE
**SUBJECT: PLAN CHECK #TRACT 5939, REVISED
EASTRIDGE / NE CORNER OF E. MAIN ST.
& N. PANTHER DRIVE
REVISION #3**

DATE: 10 October 2007

This project is subject to the following Fire Department Conditions:

The items identified by a must be incorporated into, and made a permanent part of your plans in order to receive Fire Department approval for the issuance of a Conditional Use Permit and /or Planned Development Permit.

Please print all of these comments, below, onto the plans.

General Fire Safety Requirements

- Emergency Contact Information:** An "Emergency Contact Information" form shall be filled out and returned to the Fire Department prior to the issuance of a Building Permit. This form provides emergency responders with necessary information to contact the General Contractor and/or owners of the project after normal business hours in the event of an emergency at your project.

General Fire Safety Requirements

- Address Numbers:** Numbers shall be clearly visible from the centerline of the roadway fronting the building and they shall contrast with their background. Number height shall be a minimum of six (6) inches. The proposed location and design of address numbers shall be shown on your plans.

SANTA MARIA FIRE DEPARTMENT
CONDITIONAL USE PERMIT/PLANNED DEVELOPMENT PERMIT
STANDARD CONDITIONS

Access Requirements

- Access:** Fire Department Access requirements shall be in accordance with the California Fire Code.

- Access Roads:** All weather surface access roads shall be installed and approved by the Fire Department prior to the start of construction. Minimum road standards:
 - a. 20 Foot net minimum width.
 - b. 4" class II road base compacted to 95%.
 - c. Allow Fire Department access to within 150 feet of any portion of any building.
 - d. 13 1/2 foot overhead clearance.**NOTE: Street dimensions are acceptable as shown.**

- Temporary Access Roads:** Temporary access roads and/or access issues during construction shall be reviewed, inspected and approved by the Fire Department **prior to the issuance of the building permit.**
 - a. Access roads shall be maintained clear and unobstructed for the duration of the construction project.
 - b. **FAILURE TO MAINTAIN CLEAR AND UNOBSTRUCTED ACCESS ROADS MAY RESULT IN A "STOP WORK" ORDER BEING ISSUED FOR THE PROJECT.**

- Fire Access Road Signage:** Fire Department access signage shall be placed at each entrance to the project.
 - a. Signage design is included with these comments.
 - b. **These signs shall be installed prior to issuance of a Building permit.**

Water Supply Requirements

- Fire Hydrants:**
 - a. Fire hydrants shall be installed per City of Santa Maria Public Works Standard #B-91.
 - b. Placement for residential areas shall be so travel distance does not exceed 400 feet.**NOTE: Hydrant spacing is acceptable as shown.**
 - 1. To the extent possible, hydrants should be located at intersections to minimize the impact to on-street parking. **Hydrant spacing may be altered to meet this need on a case-by-case basis.**

SANTA MARIA FIRE DEPARTMENT
CONDITIONAL USE PERMIT/PLANNED DEVELOPMENT PERMIT
STANDARD CONDITIONS

- c. Fire hydrants shall be installed and operational prior to the delivery of combustible materials to the job site.
- d. The Fire Department shall inspect and approve all fire hydrant installations for operational readiness prior to the delivery of combustible materials to the job site.
- e. **NON-COMPLIANCE WITH THIS REQUIREMENT MAY RESULT IN A "STOP WORK" ORDER BEING ISSUED.**

Placement of Fire Hydrants: Fire hydrants shall be placed so as not to be obstructed by parked vehicles or other materials that may impede access by the Fire Department.

Water Lines: Water Lines shall be installed per City of Santa Maria Public Works standards and N.F.P.A. standards. Minimum main size shall be 8".
a. **WATER LINES SHALL BE INSTALLED AND OPERATIONAL PRIOR TO THE DELIVERY OF COMBUSTIBLE MATERIALS TO THE JOB SITE.**

Hydrant Markers: Reflective blue dot fire hydrant location markers shall be installed.

Inspection and Permit Requirements

Inspections/Approvals: The Fire Department shall inspect/approve the following:

- Fire access road(s). **Prior to the start of construction.**
- Fire hydrants. **Prior to the delivery of combustible materials to the job site**
- Water Lines. **Prior to the delivery of combustible materials to the job site**
- Final occupancy sign-off prior to occupancy.
- All requirements shall be completed prior to final occupancy approval, except as noted otherwise.
- The Fire Department shall be given 24 hours minimum notice for all inspections. Inspection request line (805) 925-0951, extension 502
- All permits shall be issued prior to start of any work.

SANTA MARIA FIRE DEPARTMENT
CONDITIONAL USE PERMIT/PLANNED DEVELOPMENT PERMIT
STANDARD CONDITIONS

NOTICE:

WHEN A FIRE INSPECTOR ARRIVES AT A JOB SITE FOR A SCHEDULED INSPECTION AND THE CONTRACTOR OR SUB-CONTRACTOR IS NOT READY FOR THE INSPECTION, THE CONTRACTOR OR SUB-CONTRACTOR MAY BE SUBJECT TO ADDITIONAL INSPECTION FEES AT THE DISCRETION OF THE FIRE CHIEF OR HIS OR HER DESIGNEE. THE MINIMUM CHARGE IS ONE (1) HOUR.

Other Fire Department Requirements

STREET NAMES TO BE APPROVED BY FIRE DEPARTMENT.